STANDARD SPECIFICATION

BE ADVISED : SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT

1.0 GENERAL

1.1 ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK

1.2 ALL MATERIALS SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND UNLESS OTHERWISE STATED ON THE PLANS SHALL BE NEW AND THE BEST OF THE THEIR RESPECTIVE KIND AND SUITABLE FOR THEIR INTENDED PURPOSES.

1.3 ALL WORKMANSHIP SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND TO GOOD TRADE PRACTICES

1.4 ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE RESPECTIVE AUTHORITY HAVING JURISDICTION OVER THE WORKS.

1.5 THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATION, SCHEDULES AND CONSULTANTS DRAWINGS THAT FORM PART OF THE CONSTRUCTION DOCUMENTS REFERRED TO IN THE "BUILDING CONTRACT".

1.6 DO NOT SCALE FROM DRAWINGS. NOTIFY OF ANY ERRORS OR OMISSIONS BEFORE PROCEEDING WITH ANY WORKS

1.7 ENSURE THAT SUBSTRATES ARE SUITABLE FOR THE INTENDED SUBSEQUENT FINISHES. COMMENCEMENT OF WORK ON THE SUBSTRATES IMPLIES ACCEPTANCE BY THE SUBCONTRACTOR OF THE SUBSTRATES ON WHICH FINISHES ARE APPLIED.

1.8 CONTRACTOR IS TO SUPPLY ALL EQUIPMENT NECESSARY FOR THE COMPLETION OF THE RESPECTIVE WORKS.

1.9 CONTRACTOR IS RESPONSIBLE FOR THE PROGRESSIVE CLEAN UP DURING AND AFTER THE COMPLETION OF RESPECTIVE WORKS

2.0 EARTHWORKS

2.1 UNLESS OTHERWISE STATED, REMOVE TOPSOIL TO A MINIMUM DEPTH OF 200mm INCLUDING ALL ROOTS, AND OTHER MATTER, AND REQUIRED BY THE SOIL CONDITION AND/OR BUILDER. PROVIDE SUITABLE CLEAN FILL AND COMPACT IN LAYERS NOT GREATER THAN 300mm TO REDUCE LEVELS AS SHOWN.

2.2 DO NOT EXCAVATE SERVICES TRENCHES WITHIN AN ANGLE OF 45 DEGREES DOWN FROM THE BOTTOM EDGE OF THE FOOTING.

2.3 ALL RETAINING WALLS TO BE TREATED WITH "BITKOTE" WATERPROOFING AGENT

3.0 CONCRETE

3.1 ALL CONCRETE REINFORCEMENT AND FORMWORK SHALL BE TO STRUCTURAL ENGINEERS DETAILS, RELEVANT BUILDING CODES AND STANDARDS

3.2 THE FOOTING AND SLAB CONSTRUCTION IS TO COMPLY WITH AS 2870

3.3 PROVIDE A PROPRIETARY VAPOUR BARRIER WHICH CONSISTS OF HIGH IMPACT RESISTANT POLYTHENE FILM MIN 0.2mm THICK WHICH HAS BEEN PIGMENTED AND BRANDED BY THE MANUFACTURER.

4.0 TERMITE PROTECTION:

4.1 PROVIDE ANTI-TERMITE TREATMENT UNDER THE BUILDING AREAS IN ACCORDANCE WITH AS 2057, AS 3660.1 AND APPENDIX D, FOR RETICULATED SYSTEMS.

4.2 BUILDER SHALL PROVIDE "BIFLEX" OR SIMILAR APPROVED ANTI-TERMITE TREATMENT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARD CODES

5.0 BRICKWORK

5.1 BRICK WORK SHALL COMPLY WITH :
AS 3700 MASONRY CODE
AS A123 MASONRY CODE
MORTAR FOR MASONRY CONSTRUCTION

5.2 BRICK GAUGE 7 STANDARD COURSES = 600mm.

5.3 TIES SHALL BE 3.5mm DIAMETER GALVANIZED WIRE KINKED FOR AND BUILT IN EVERY 5TH COURSE AT APPROXIMATELY 900mm CENTRES, WITH ADDITIONAL TIES AT THE RATE OF 1 TIE/300mm HEIGHT OF OPENINGS AND VERTICAL CONTROL JOINTS AND WITHIN 150mm OF OPENINGS. BUILD TIES INTO EACH LEAF AT LEAST 50mm.

5.4 VERTICAL CONTROL JOINTS SHALL BE 12mm WIDE FILLED AT COMPLETION WITH A CONTINUOUS FILLER STRIP.

5.5 CAVITIES TO BE KEPT CLEAR OF MORTAR. PROVIDE CAVITY BOARDS. TEMPORARILY OMIT BRICKS TO PERMIT RAKING OUT OF CAVITY BOTTOMS.

5.6 FORM WEEP HOLES EVERY FOURTH PERPEND ABOVE FLASHING AND CAVITY FILL KEEP CLEAR OF MORTAR. DO NOT LOCATE WEEPHOLES CLOSER THAN 500mm TO JOINTS IN DAMP PROOF COURSES OR FLASHING.

5.7 PROVIDE DAMP PROOF COURSES (DPC) IN THE BOTTOM 3 COURSES OF BRICK WORK AND SLAB AND/OR FOOTINGS. DPC ADDITIVE SHALL BE CLEAR IN ALL FACEWORK.

5.8 SETOUT BRICKWORK ACCURATELY, PLUMP, LEVEL AND PROPERLY BONDED. RISING WORK TO BE RAKED BACK, JAMBS, REVEALS, CORNERS, PERPENDS, ETC TO BE TRUE, PLUMB AND IN LINE WITH PERPENDS TRUE LINE. SETOUT DOOR FRAMES NEAR PERPENDICULAR WALL WITH A MERGIN OF 12mm OR GREATER THAN 50mm

5.9 PROVIDE 12mm PLASTERING MARGIN BETWEEN WINDOW FRAME AND INTERNAL BRICKWORK TO BE PLASTERED.

5.10 WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF OPENING EXTENDING ALUMINIUM OF 600mm BEYOND THE OPENING.

5.11 BUILD IN ALCOR/PGI FLASHINGS AS FOLLOWS:

- WHEREVER SHOWN ON DRAWINGS
- CAVITY WALLS BUILT OF SLAB ON GROUND (WHERE NOT PARGED)
- OVER LINTELS TO EXPOSED OPENINGS - EXTEND THE FULL WIDTH OF OUTER LEAF CONTINUOUS ACROSS CAVITY 50mm INTO INNER LEAF 2c ABOVE
- OVER ROOF - EXTEND THE FULL WIDTH OF EXTERNAL LEAF, STEPPED TO ROOF SLOPE TURNED DOWN MIN. 50mm OVER BASE FLASHING. TURN UP IN CAVITY SLOPING INWARDS AND BUILT INTO INNER LEAF 1c ABOVE.
- DOOR/WINDOW STILES - EXTEND THE FULL HEIGHT 150mm WIDE FIXED TO FRAMES INTERLEAVED WITH SILL AND HEAD FLASHING AT EACH END.
- STRUCTURE OR SERVICES WITHIN 30mm OF OUTER BRICK LEAF IN CAVITY: VERTICAL FLASHING CONTINUOUS 1c BELOW FL TO ABOVE STRUCTURE OR FRAME. NOMINAL 300m WIDE.
- FOR HORIZONTAL STRUCTURES/SERVICES: CONTINUOUS FLASHING BUILT IN AS FOR OVER LINTELS
- AT CAVITY WALLS WITH GLASS BLOCK 300mm WIDE FIXED TO GLASS BLOCK FRAME AND TURNED AWAY IN CAVITY FROM INNER LEAF.

5.12 WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF OPENING EXTENDING ALUMINIUM OF 600mm BEYOND THE OPENING.

5.13 UNLESS OTHERWISE SHOWN ON DRAWINGS
EXTERNAL FACE WORK: 230x110x76mm
WINDOW SILLS: 2c FACE BRICK SPLAYED SILLS
WINDOW HEADS: SOLID FACEBRICK COURSE

6.0 LINTELS

MAX SPAN (mm)	LINTELS SIZE (VERT x HORIZ x THICK)	BEARING EACH END (mm)
900	75x10	150
1200	75x75x8	150
1500	90x90x8	150
1800	100x75x8	230
2100	125x75x8	230
2400	125x75x10	230
2500	100x100x8	230
3000	150x90x10	230

7.0 CARPENTRY WORK

7.1 ROOF AND CEILING FRAMING SHOULD COMPLY WITH AS 1684 LIGHT TIMBER FRAMING CODE. DRAW STRAP FIRMLY OVER WALL PLATES AND SECURELY FIX TO TOP OF PLATE BY 2x30mm GALV. CLOUTS/STRAP.

7.2 REFER TO AS 1684 FOR ROOF FRAMING SIZES UNLESS SPECIFIED ON DRAWINGS.

7.3 SUPPLY AND FIX ALL BULKHEADS & FALSE CEILINGS AS SHOWN ON THE DRAWINGS.

8.0 ROOFING

8.1 SELECTED ROOFING MATERIAL SHALL BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND RELEVANT BUILDING CODES

8.2 GUTTER, FASCIA, DOWNPIPES, FLASHING SHALL BE IN LONGEST POSSIBLE LENGTHS

8.3 ALLOW FOR ALL JOINTS AND JOINING MATERIALS, COLLARS, STRAPS & FASTENINGS NECESSARY TO COMPLETE WORK.

8.4 ALLOW FOR ALL ROOF PENETRATIONS, ROOF COWLS, FLASHING, FLUMES THROUGH ROOF

8.5 FIX GUTTERS & FLASHING TO PERMIT THERMAL MOVEMENT IN THEIR FULL LENGTH

8.6 SEAL BETWEEN OVERLAPPING FLASHING; FLASHING TURNED DOWN OVER BASE OR APRON FLASHING; FLASHING OVER METAL ROOF; FLASHING OVER SECRET GUTTERS; AROUND ROOF PENETRATIONS ETC.

9.0 WINDOWS/GLAZING

9.1 UNLESS OTHERWISE STATED ON THE DRAWINGS WINDOW FRAMES SHALL BE ALUMINIUM RESIDENTIAL OR COMMERCIAL IN SECTION WITH POWDERCOAT FINISH AS SELECTED BY OWNER.

9.2 ALLOW FOR FLYSCREENS TO BE FITTED TO ALL WINDOWS.

9.3 ANGLED WINDOW UNITS SHALL BE FACTORY MADE AND FIXED AND DELIVERED ON SITE AS A COMPLETE UNIT.

9.4 WHERE RELEVANT WINDOWS ARE TO COMPLY WITH THE SPECIFICATIONS PROVIDED BY THE THERMAL PERFORMANCE ASSESSOR.

9.5 CLEAR GLASS GENERALLY: OBSCURE GLASS TO BATHROOMS, REFER TO DRAWINGS.

9.6 WHERE GLASS BLOCKS HAVE BEEN NOMINATED, THEY SHALL BE IN FRAMES AND INSTALLED TO MANUFACTURERS SPECIFICATIONS

10.0 JOINERY

10.1 ALL JOINERY SHALL BE OF HIGHEST QUALITY MATERIALS TO BEST TRADE PRACTICES AND HIGH QUALITY FINISH.

10.2 EXTERNAL DOOR FRAMES SHALL BE: 110x40 DOUBLE REBATED FRAME WITH 130x40 WEATHERED THRESHOLD U.N.O.

10.3 SUPPLY AND BUILD IN TIMBER DOOR FRAMES TO EXTERNAL LOCATIONS AS SHOWN ON ARCHITECTURAL DRAWINGS.

11.0 CEILINGS

11.1 CEILINGS SHALL BE RECESSED EDGE, MINIMUM 8.0mm PLASTERGLASS OR GYPROCK.

11.2 FLUSH JOINTS, SCREW HEADS, AND OTHER BLEMISHES IN THE SHEETS USING APPROVED SYSTEMS TO PROVIDE FLUSH SMOOTH CONTINUOUS SURFACE

11.3 PROVIDE AND FIX ALL FLUSH STOP BEADS & CASING BEADS TO ALL CORNERS & EDGES

11.4 PROVIDE ALL SELECTED MOLDINGS AND CORNICES TO ALL CEILINGS AS SHOWN ON THE DRAWINGS.

12.0 PLASTERING

12.1 INTERNAL WALL FINISHES INCLUDING CUPBOARD, BIN & FRIDGE RECESSES ETC SHALL BE (OTHER THAN FACE FINISHES OR WHERE COVERED BY FEATURE MATERIALS) FLOAT AND SET IN HARDWALL PLASTER U.N.O.

12.2 PLASTERED WALLS SHALL BE NOMINAL 12mm THICK CONSISTING OF 1:1:9, CEMENT:LIME:SAND RENDER, AND FINISHED WITH NOMINALLY 3mm

12.3 HARDWALL PLASTER

12.4 SUPPLY AND FIX EXTERNAL CORNER BEADS TO ALL EXTERNAL CORNERS.

12.5 PROVIDE STOP BEADS WHERE PLASTER WORK ABUTS TIMBER FRAMES, OR FACEWORK

12.6 EXTERNAL RENDER WHEN APPLICABLE SHALL BE 2 COAT SAND FINISH. (FOR PAINTING).

12.7 NIBS IN INTERNAL CORNERS ADJACENT TO DOOR FRAMES GREATER THAN 40mm SHALL NOT BE FLUSHED UP WITH FRAMES.
PROVIDE V-JOINTS IN RENDER & FINISHING PLASTER WHERE BRICK WORK ABUTS OR JOINS ONTO CONCRETE WORK.

13.0 FLOORING FINISHES

13.1 CARPET FLOOR COVERINGS TO NOMINATED AREAS COMPLETE WITH SELECTED UNDERLAY SMOOTH EDGE, DIMINISHING STRIPS ETC, TO COMPLETE THE WORKS: REFER TO DRAWINGS AND FINISHES SCHEDULE

13.2 PROVIDE TILED FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, ANGLE TRIMS ETC. TO COMPLETE THE WORKS: REFER TO DRAWINGS AND FINISHES SCHEDULE

13.3 PROVIDE TIMBER FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, DIMINISHING BOARDS ETC TO COMPLETE THE WORKS: FLOOR BOARDS TO BE SANDED AND POLISHED TO HIGH STANDARD WITH PREMIUM QUALITY SEALER (2 COATS). REFER TO DRAWINGS AND FINISHES SCHEDULE.

14.0 SIGNAGE

14.1 WHERE NECESSARY SUPPLY & FIX SELECTED UNIT AND HOUSE NUMBERS TO EACH UNIT AND TO LETTERBOXES AS SCHEDULED.

14.2 "SUPERDRAFT" RESERVES THE RIGHT TO ERECT A BUILDERS SIGN ON THE PROPERTY FACING THE STREET FRONTAGE IN COMPLIANCE WITH AUTHORITY REQUIREMENTS.

15.0 PAVING

15.1 GENERALLY: WHEN PAVING IS INCLUDED IN THE BUILDING CONTRACT THE FOLLOWING SHALL APPLY AS A MINIMUM STANDARD

- SUPPLY AND LAY ALL PAVING TO EXTERNAL AREAS AS SHOWN ON WORKING DRAWINGS.
- CUT, FILL & COMPACT SAND TO REQUIRED LEVELS. SCREED TO UNIFORM THINNESS AND LEVELS
- PROVIDE BRICK EDGE RETAINING FOOTING EMBEDDED IN MORTAR BENEATH THE PAVING BRICK
- TO DRIVEWAY AREAS, PROVIDE NOMINAL 300x150mm CONCRETE FOOTING ALONG PERIMETER OF DRIVEWAY AND BED EDGE BRICK IN MORTAR.

15.2 PROVIDE 100mm COMPACTED LIMESTONE BASE TO DRIVEWAY TOPPED WITH

15.3 50mm CLEAN SAND AND GRADE TO FALLS.

15.4 UNLESS NOTED PAVING PATTERN IS TO CLIENTS DETAIL
BRICK PAVERS SHALL BE:
TRAFFICABLE AREAS: MIN. 65mm SOLID CLAY OR CONCRETE
PEDESTRIAN AREAS: MIN. 43mm SOLID CLAY OR CONCRETE

16.0 ENERGY EFFICIENCY

16.1 INSULATION MUST FORM A CONTINUOUS BARRIER WITH CEILINGS, WALLS AND FLOORS BY ABUTTING OR OVERLAPPING ADJOINING INSULATION

16.2 INSULATION MUST NOT ADVERSELY AFFECT DOMESTIC SERVICES OR FITTINGS

16.3 REFLECTIVE INSULATION IS TO BE PROVIDED WITH A MINIMUM 25mm AIRSPACE AND IS FITTED CLOSE TO OPENINGS SUCH AS WINDOWS/DOORS

16.4 ETC. AND IS PROVIDED WITH ADEQUATE SUPPORT.
BULK INSULATION MUST MAINTAIN ITS POSITION, THICKNESS.

16.5 ENSURE THAT CEILING INSULATION OVERLAPS UN-INSULATED WALLS CONSTRUCTION JOINTS, SUCH AS BETWEEN WALL AND FLOOR, ARE TO BE TIGHT FITTING OR SEALED USING CAULKING OR JOINERY ITEMS SUCH AS

16.6 SKIRTING OR CORNICES

16.7 EXHAUST FANS ARE TO BE FITTED WITH A SELF CLOSING DAMPER

16.8 ROOF LIGHTS MUST BE SEALED WITH WEATHERPROOF SEALS

16.9 HEATED WATER PIPING MUST BE THERMALLY INSULATED AND PROTECTED AGAINST THE WEATHER AND SUN

16.10 INTERNAL HEATED WATER PIPING TO HAVE AN R VALUE OF 0.2
ENCLOSED SUB-FLOOR AND ROOF SPACE TO HAVE AN R VALUE OF 0.45

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DRAWING SCHEDULE

A.00	ARCHITECTURAL SPECIFICATION
A.01.1	DEMOLITION PLAN
A.01.2	PROPOSED SITE PLAN
A.01.3	PROPOSED SITE ANALYSIS PLAN
A.01.4	EROSION/SEDIMENT CONTROL PLAN
A.01.5	PROPOSED SUBDIVISION
A.02.1	PROPOSED CHILDCARE GROUND FLOOR PLAN
A.02.2	PROPOSED CHILDCARE FIRST FLOOR PLAN
A.02.3	PROPOSED REAR UNITS GROUND FLOOR PLAN
A.02.4	PROPOSED REAR UNITS GROUND FLOOR PLAN
A.02.5	PROPOSED ROOF PLAN
A.03.1	PROPOSED CHILDCARE ELEVATIONS
A.03.2	PROPOSED CHILDCARE ELEVATIONS
A.03.3	PROPOSED UNIT A ELEVATIONS
A.03.4	PROPOSED UNIT A ELEVATIONS
A.03.5	PROPOSED UNIT B ELEVATIONS
A.03.6	PROPOSED UNIT B ELEVATIONS
A.03.7	PROPOSED S'DARY DWELLING ELEVATIONS
A.04.1	PROPOSED SECTION & DETAILS
A.04.2	PROPOSED SECTION & DETAILS
A.06.1	PROPOSED SHADOW DIAGRAMS

REV	AMENDMENT DETAILS	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
ARCHITECTURAL SPECIFICATION

DRAWN
SK

DESIGNED
FB

CHECK
FB

DATE DRAWN	DRAWING SCALE	SHEET SIZE
MAY 2022	1 : 000	A3

bda
ACCREDITED
BUILDING DESIGNER
ACCREDITATION NUMBER: 6613 MEMBER NUMBER: 6763-21

PROJECT NUMBER	DRAWING NUMBER	REVISION
FB0022	A.00	01

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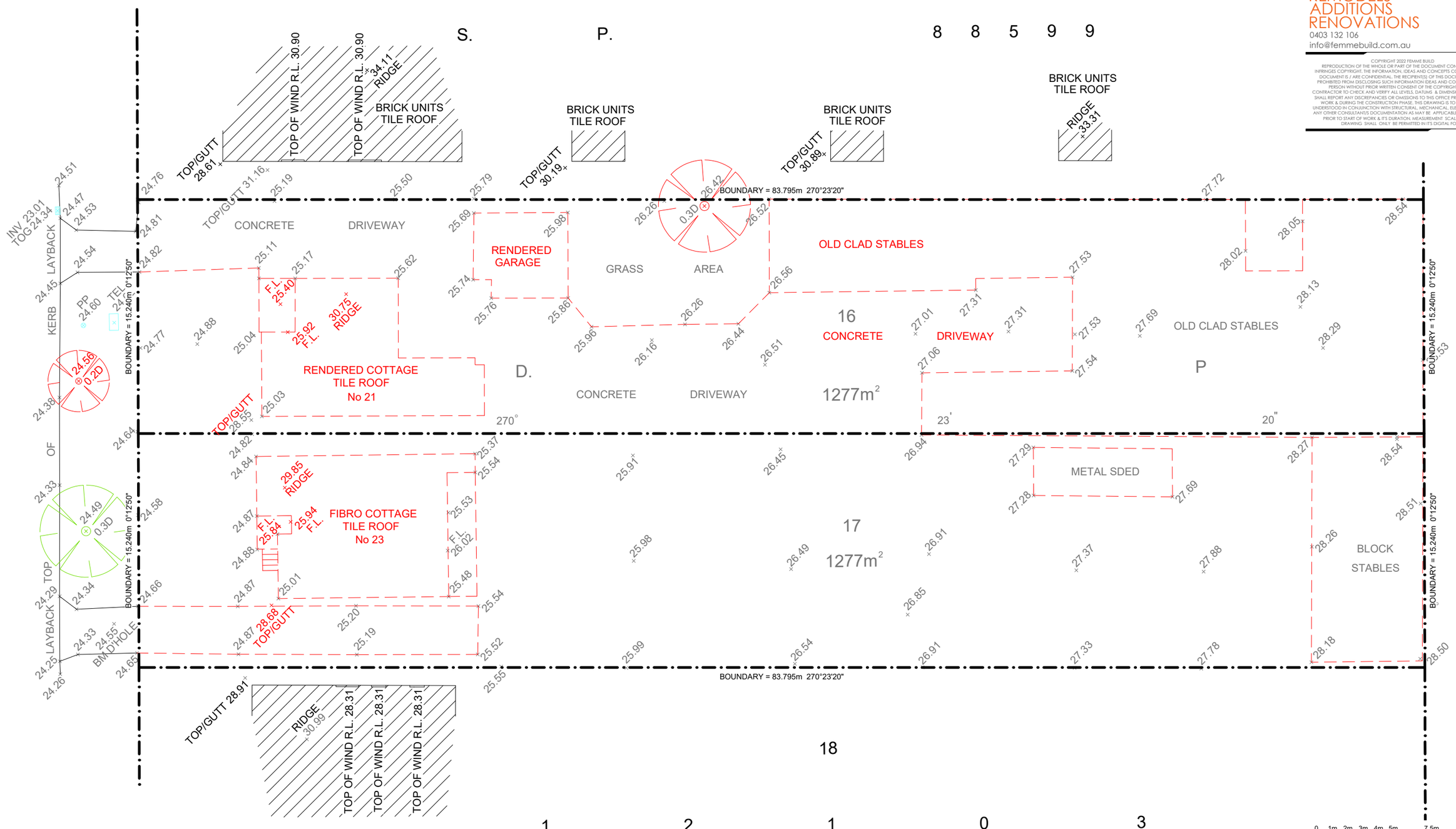

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NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
DEMOLITION PLAN

DRAWN SK
DESIGNED FB
CHECK FB
DATE DRAWN MAY 2022
DRAWING SCALE 1:125
SHEET SIZE A1

NORTH

PROPOSED DEMOLITION PLAN
SCALE - 1 : 125

1 2 1 0 3

0 1m 2m 3m 4m 5m 7.5m 10m 12.5m
1:125 @ A1 ▪ 1:250 @ A3 ▪ 1:707 @ A4

bdaa
ACCREDITED
BUILDING DESIGNER
ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER	DRAWING NUMBER	REVISION
FB0022	A.01.1	01

SITE INFORMATION - CENTRE

SITE AREA	871.97m²
PROPOSED CHILDCARE G. FLOOR	224.52m²
GARBAGE ROOM	7.47m²
PROPOSED CHILDCARE F.FLOOR	166.24m²
TOTAL FLOOR AREA	390.76m²
0 - 2	12
2 - 3	15
3 - 5	13
INDOOR PLAY AREA REQUIRED	91m²
INDOOR PLAY AREA PROPOSED	149.63m²
OUTDOOR PLAY AREA REQUIRED	280m²
OUTDOOR PLAY AREA PROPOSED	281.14m²
PERMEABILITY	199.23m²
ONSITE PARKING	8
OFFSITE PARKING	1

SITE INFORMATION - UNIT A

SITE AREA	696.59m²
PROPOSED RESIDENCE G. FLOOR	177.45m²
GARAGE	33m²
ALFRESCO	32.65m²
PROPOSED RESIDENCE F.FLOOR	145.46m²
BALCONIES	20.96m²
TOTAL FLOOR AREA	337.91m²
PERMEABILITY	34%
PRIVATE OPEN SPACE (POS)	273.70m²
MAX BUILDING HEIGHT	8.99m

SITE INFORMATION - UNIT B

SITE AREA	675m²
PROPOSED RESIDENCE G. FLOOR	151.06m²
GARAGE	30.25m²
ALFRESCO	17.34m²
PROPOSED RESIDENCE F.FLOOR	115.51m²
BALCONIES	11.20m²
PROPOSED S'DARY DWELLING	57.66m²
PORCH	8.04m²
TOTAL FLOOR AREA	336.48m²
PERMEABILITY	36%
PRIVATE OPEN SPACE (POS)	200.40m²
MAX BUILDING HEIGHT	7.99m

SITE NOTES

- CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK.
- EXISTING PLUMBING AND ELECTRICAL WORKS TO BE REMOVED AND MADE GOOD AS NECESSARY.
- THIS PLAN DOES NOT PROVIDE SPECIFIC LANDSCAPE PLANTING LOCATIONS.
- THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.
- THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE SPECIFICATION PROVIDED.
- BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE.
- REFER ALL MAJOR WORKS TO RAMPS, WALKWAYS, DRIVEWAYS ETC (INCLUDING CARPARK WORKS, LEVELS & DATUMS) REFER TO CIVIL ENGINEERS DOCUMENTATION.

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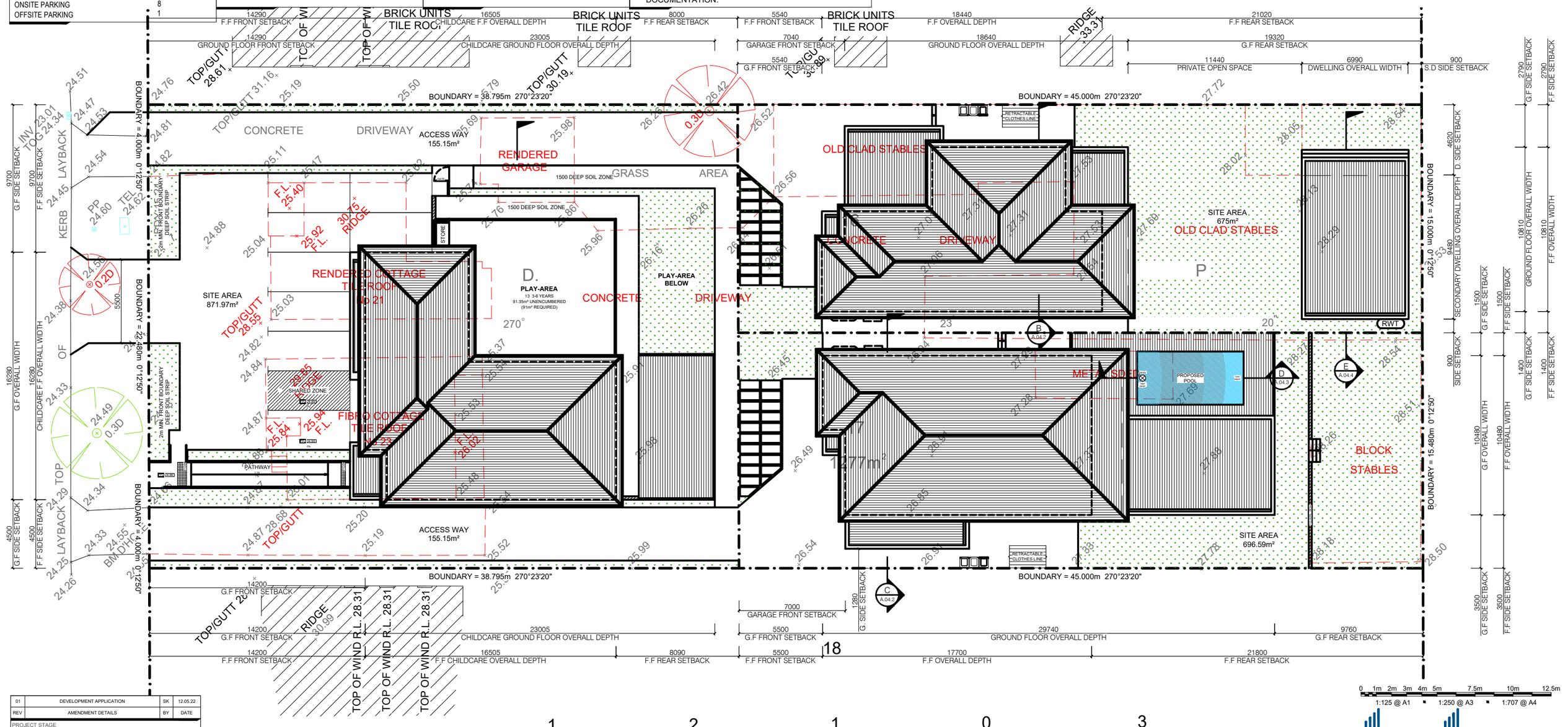

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21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
SITE PLAN

DRAWN SK
DESIGNED FB
CHECK FB
DATE DRAWN MAY 2022
DRAWING SCALE 1:125
SHEET SIZE A1

NORTH

PROPOSED SITE PLAN
SCALE - 1 : 125

ACCREDITED
BUILDING DESIGNER
ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER	DRAWING NUMBER	REVISION
FB0022	A.01.2	01

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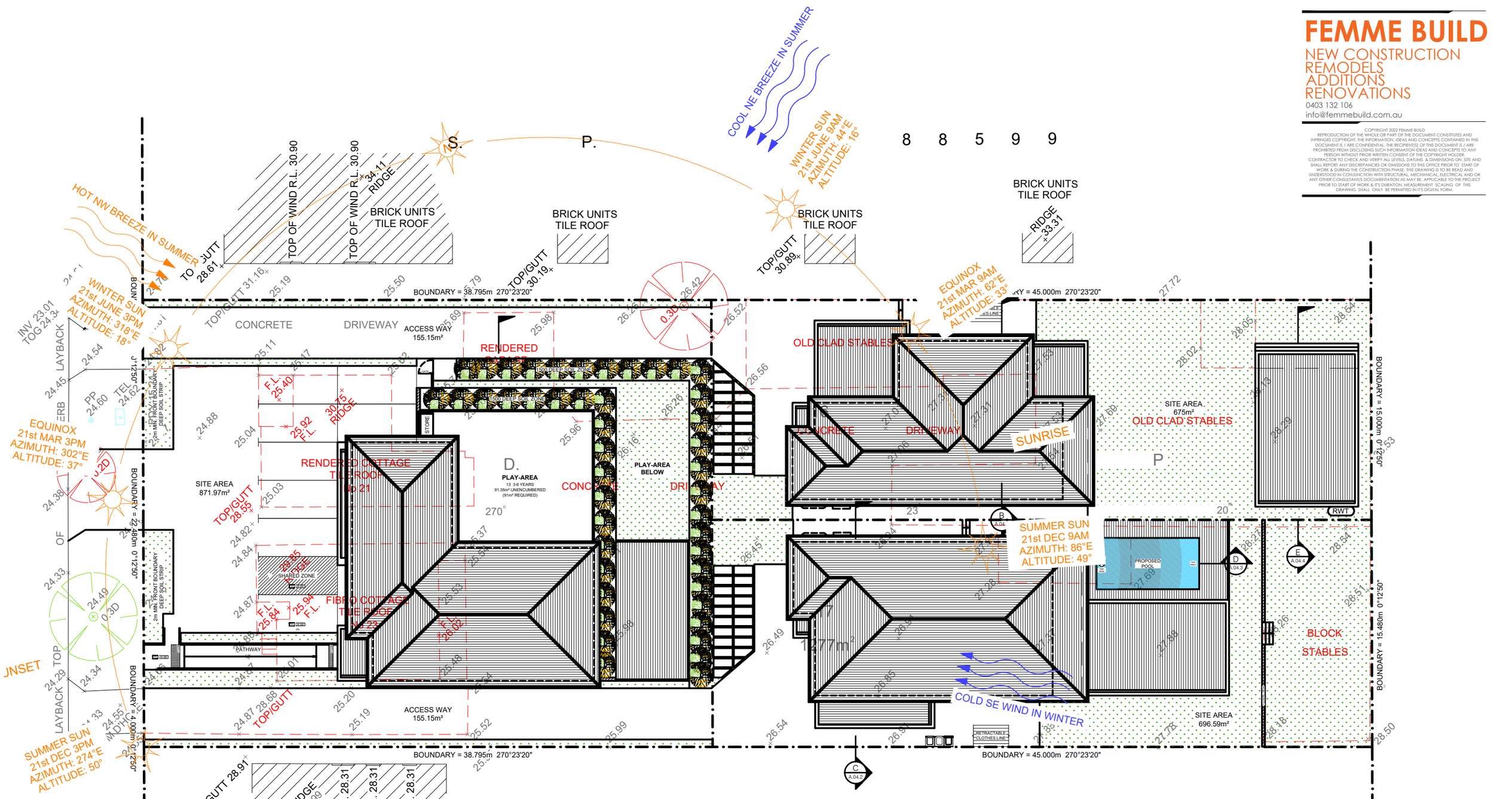

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SITE ANALYSIS PLAN

DRAWN SK
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CHECK FB
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DRAWING SCALE 1:125
SHEET SIZE A1

PROPOSED SITE ANALYSIS PLAN

SCALE - 1 : 125

0 1m 2m 3m 4m 5m 7.5m 10m 12.5m
1:125 @ A1 ▪ 1:250 @ A3 ▪ 1:707 @ A4

bdaa
ACCREDITED
BUILDING DESIGNER
ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER	DRAWING NUMBER	REVISION
FB0022	A.01.3	01

FEMME BUILD

NEW CONSTRUCTION
REMODELS
ADDITIONS
RENOVATIONS

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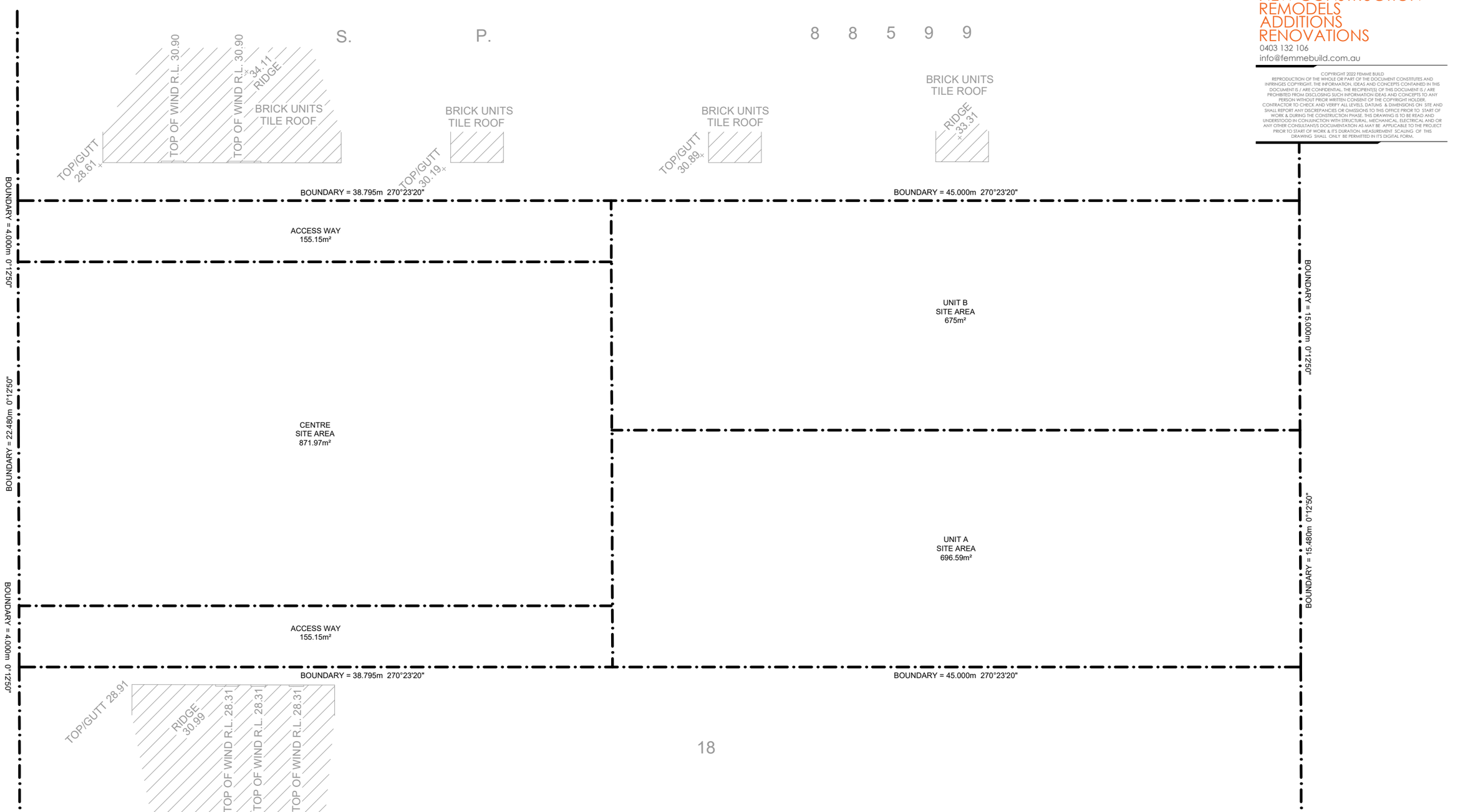

REV	AMENDMENT DETAILS	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
SUBDIVISION PLAN

DRAWN
SK

DESIGNED
FB

CHECK
FB

DATE DRAWN
MAY 2022

DRAWING SCALE
1:125

SHEET SIZE
A1

NORTH

PROPOSED SUBDIVISION PLAN
SCALE - 1 : 125

0 1m 2m 3m 4m 5m 7.5m 10m 12.5m
1:125 @ A1 ▪ 1:250 @ A3 ▪ 1:707 @ A4

bdaa
ACCREDITED
BUILDING DESIGNER
ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER	DRAWING NUMBER	REVISION
FB0022	A.01.4	01

FEMME BUILD

NEW CONSTRUCTION
REMODELS
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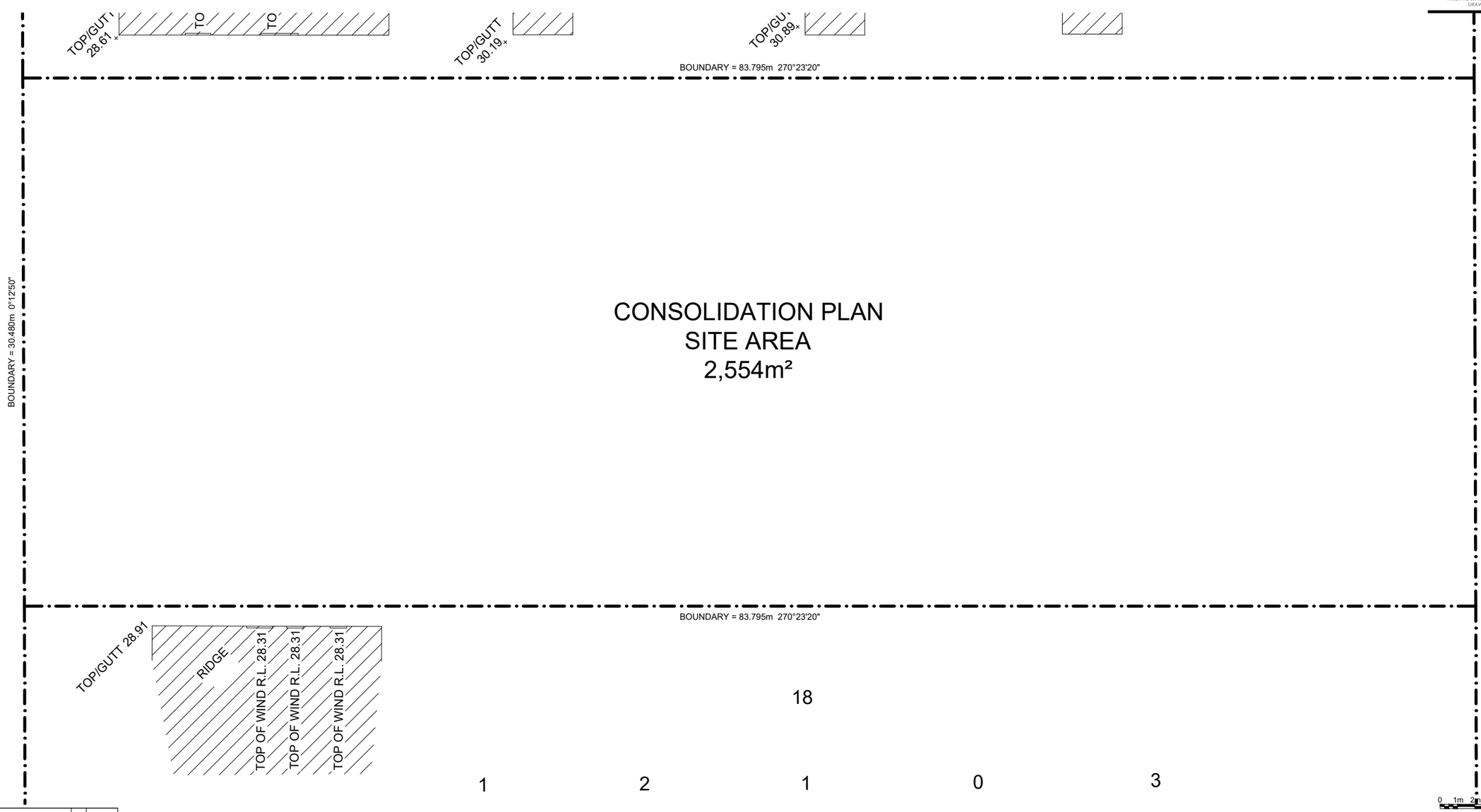


REV	AMENDMENT DETAILS	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
SUBDIVISION PLAN

DRAWN
SK

DESIGNED
FB

CHECK
FB

DATE DRAWN
MAY 2022

DRAWING SCALE
1:125

SHEET SIZE
A1

NORTH

PROPOSED CONSOLIDATION PLAN

SCALE - 1 : 125

0 1m 2m 3m 4m 5m 7.5m 10m 12.5m

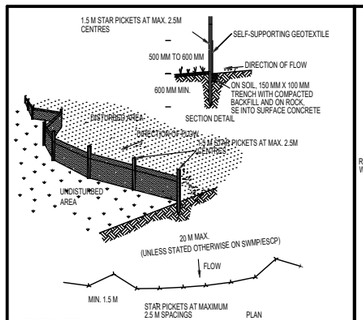
1:125 @ A1 ■ 1:250 @ A3 ■ 1:707 @ A4

bda
ACCREDITED
BUILDING DESIGNER

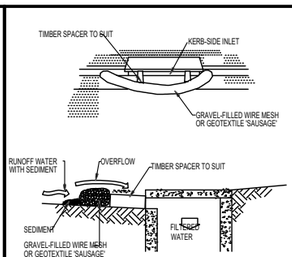
ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER	DRAWING NUMBER	REVISION
FB0022	A.01.4B	01

SEDIMENT CONTROL



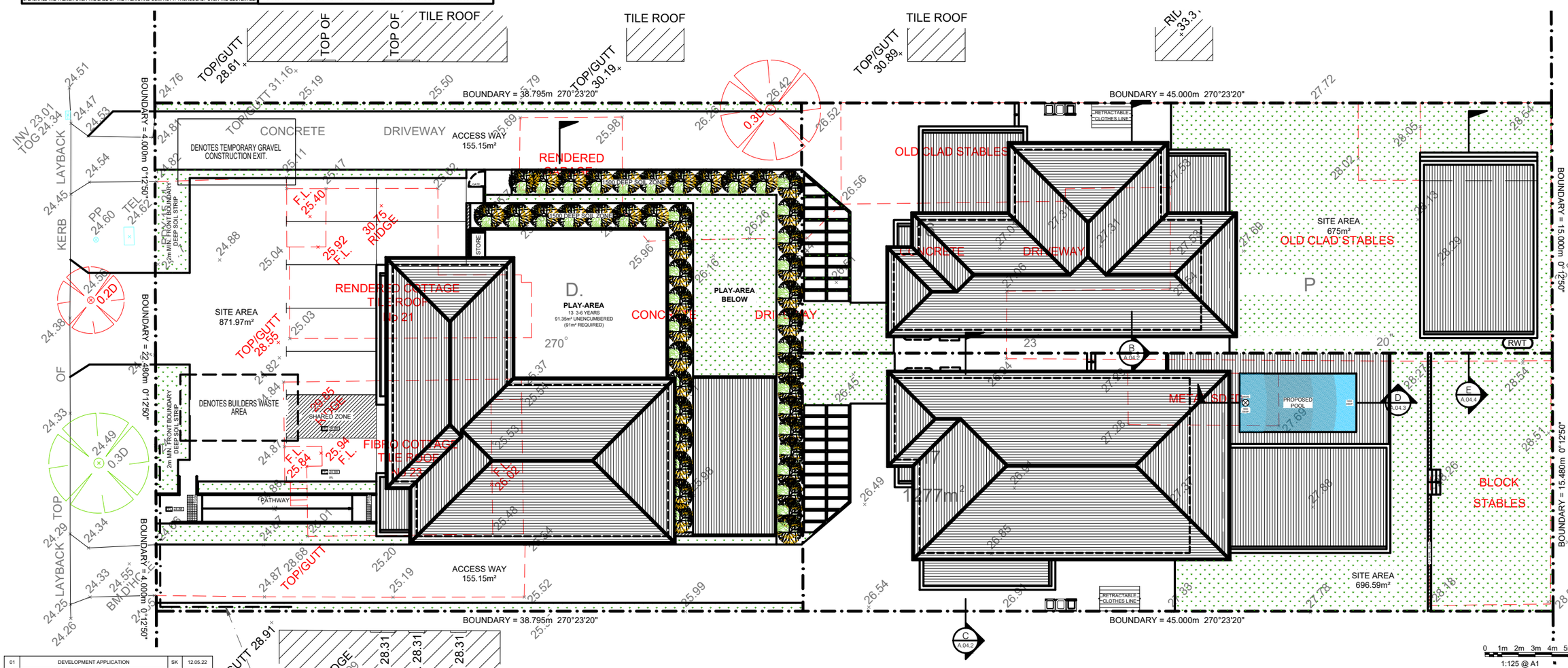
CONSTRUCTION NOTES
1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
2. CUT A 150-MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND AT 2.5 METRE INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150-MM OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE



NOTE: THIS PRACTICE ONLY TO BE USED WHERE SPECIFIED IN AN APPROVED SWMP/ESCP.

CONSTRUCTION NOTES
1. INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS.
2. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25 MM TO 50 MM GRAVEL.
3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150 MM HIGH X 400 MM WIDE.
4. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100-MM SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
5. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
6. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.

LEGEND:
- DENOTES SEDIMENT CONTROL BARRIER. REFER TO DETAIL
- DENOTES TEMPORARY GRAVEL CONSTRUCTION EXIT.
- DENOTES BUILDERS WASTE AREA



REV	AMENDMENT DETAILS	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
EROSION/SEDIMENT PLAN

DRAWN SK
DESIGNED FB
CHECK FB
DATE DRAWN MAY 2022
DRAWING SCALE 1:125
SHEET SIZE A1

NORTH

PROPOSED EROSION/SEDIMENT CONTROL PLAN
SCALE - 1 : 125

0 1m 2m 3m 4m 5m 7.5m 10m 12.5m
1:125 @ A1 ▪ 1:250 @ A3 ▪ 1:707 @ A4

FEMME BUILD
NEW CONSTRUCTION
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bdaa
ACCREDITED
BUILDING DESIGNER
ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER	DRAWING NUMBER	REVISION
FB0022	A.01.4	01

COMMON NOTE

ALL COMMON USE DOORS NOTED AS 850 ON PLANS ARE REQUIRED TO PROVIDE DOOR CIRCULATIONS ON BOTH SIDES.

PROPOSED CHILDCARE GROUND FLOOR PLAN

SCALE - 1 : 100

1 2

ELEVATION DIRECTION

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NEW CONSTRUCTION
REMODELS
ADDITIONS
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CONSTRUCTION NOTES

- CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK.
- SUPPLY AND INSTALL 'BIFLEX' CHEMICAL TERMITE TREATMENT (UNLESS OTHERWISE APPROVED) TO COMPLY WITH AS3660.1 AND MANUFACTURER'S SPECIFICATIONS
- ALL BRICKWORK (INCLUDING BRICK VENEER) SHALL BE IN ACCORDANCE WITH AS3700- MASONRY CODE
- ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS1684. - UNLESS OTHERWISE APPROVED ROOF FRAMING SHALL BE OF TRADITIONAL TIMBER FRAMED CONSTRUCTION
- FOR ALL STRUCTURAL MEMBERS, FOOTINGS, & LOAD BEARING WALLS REFER TO STRUCTURAL DOCUMENTATION PREPARED BY ENGINEERS.

WALL SCHEDULE

WALL SARKING & BULK INSULATION AS REQUIRED BY ENERGY ASSESSMENT

CAVITY BRICK WALL. SELECTED. EXPOSED FACE BRICK (RE-USE RECYCLED BRICK FROM DEMOLITION.

INTERIOR FINISH OTHER - PROVIDE FLUSH PLASTER FINISH.

REV	AMENDMENT DETAILS	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
PROPOSED CHILDCARE GROUND FLOOR PLAN

DRAWN
SK

DESIGNED
FB

CHECK
FB

DATE DRAWN
MAY 2022

DRAWING SCALE
1 : 100

SHEET SIZE
A1

0 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m

1:100 @ A1 ▪ 1:200 @ A3 ▪ 1:267 @ A4

bdaa ACCREDITED BUILDING DESIGNER

ACCREDITATION NUMBER: 6613 MEMBER NUMBER: 6763-21

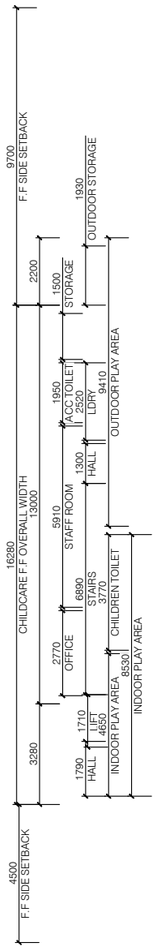
PROJECT NUMBER
FB0022

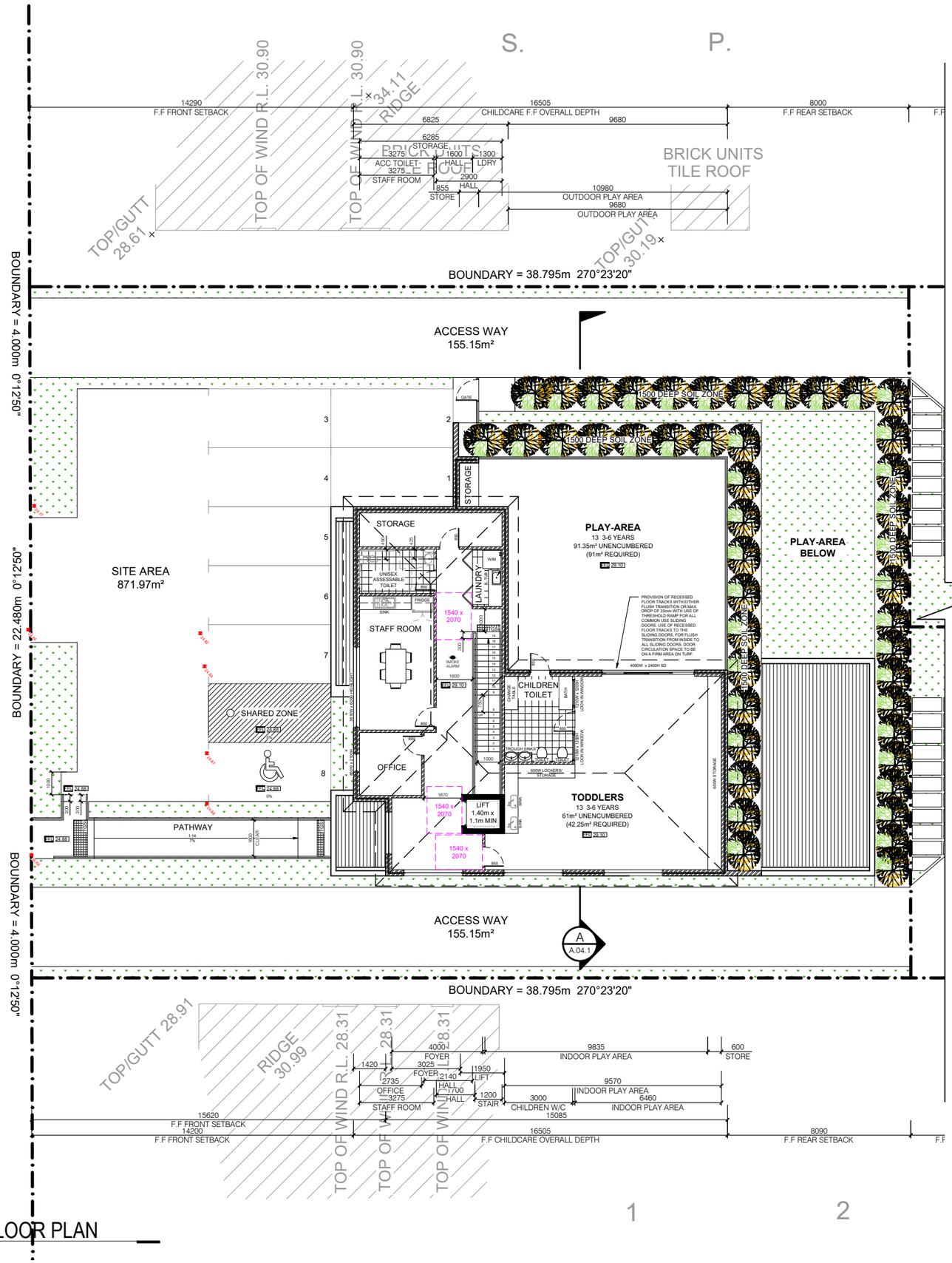
DRAWING NUMBER
A.02.1

REVISION
01

COMMON NOTE

ALL COMMON USE DOORS NOTED AS 850 ON PLANS ARE REQUIRED TO PROVIDE DOOR CIRCULATIONS ON BOTH SIDES.





PROPOSED CHILDCARE FIRST FLOOR PLAN

SCALE - 1 : 100

ELEVATION DIRECTION

FEMME BUILD

NEW CONSTRUCTION
REMODELS
ADDITIONS
RENOVATIONS

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WALL SCHEDULE

WALL SARKING & BULK INSULATION AS REQUIRED BY ENERGY ASSESSMENT

CAVITY BRICK WALL.
SELECTED. EXPOSED FACE BRICK (RE-USE RECYCLED BRICK FROM DEMOLITION.
INTERIOR FINISH OTHER - PROVIDE FLUSH PLASTER FINISH.

REV	DETAILS	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22
REV	AMENDMENT DETAILS	BY	DATE

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
PROPOSED CHILDCARE FIRST FLOOR PLAN

DRAWN
SK

DESIGNED
FB

CHECK
FB

NORTH

DATE DRAWN
MAY 2022

DRAWING SCALE
1 : 100

SHEET SIZE
A1

0 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m
1:100 @ A1 1:200 @ A3 1:267 @ A4

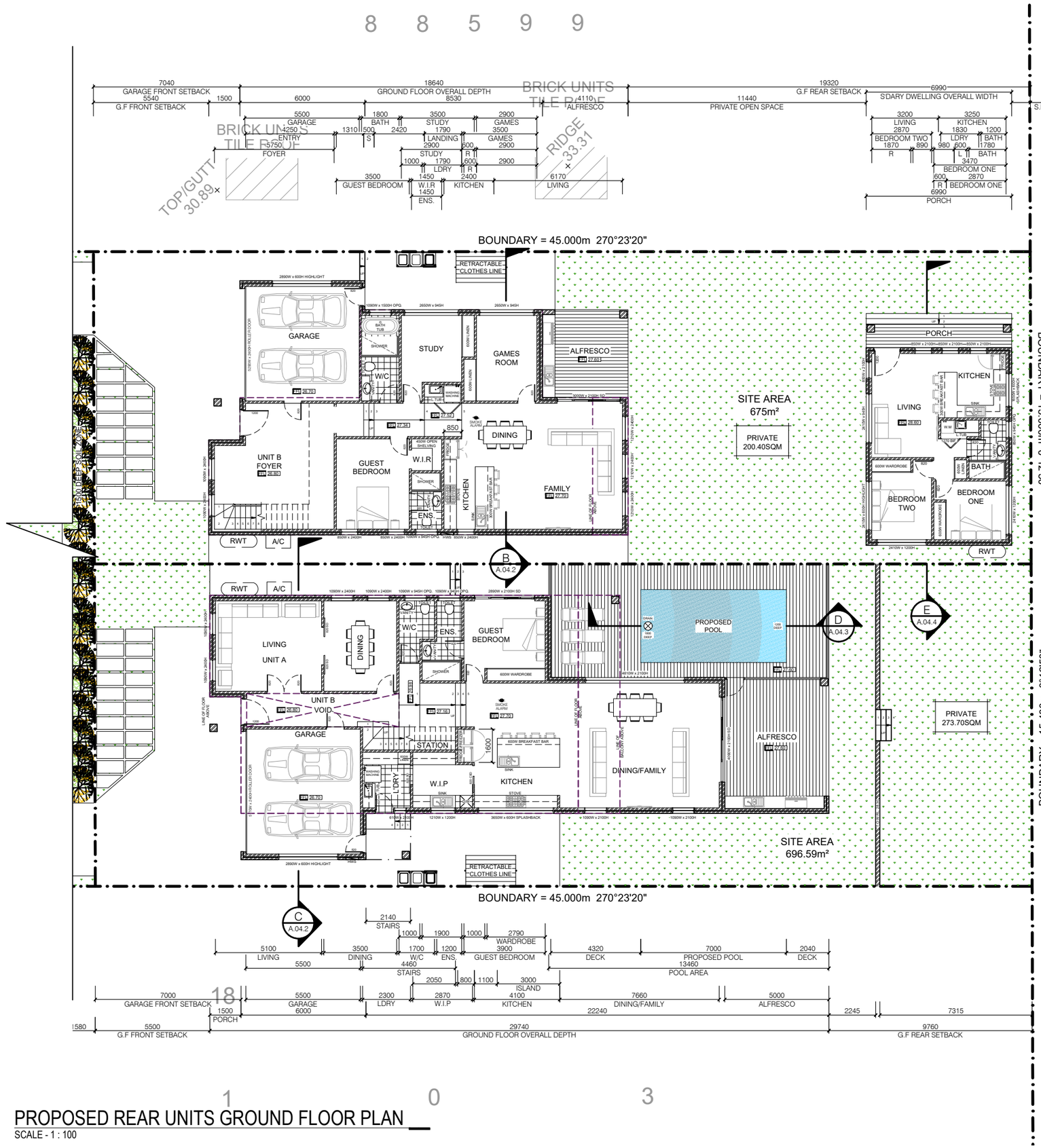
bda
ACCREDITED
BUILDING DESIGNER

ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER
FB0022

DRAWING NUMBER
A.02.2

REVISION
01



PROPOSED REAR UNITS GROUND FLOOR PLAN

SCALE - 1 : 100

FEMME BUILD

NEW CONSTRUCTION
REMODELS
ADDITIONS
RENOVATIONS

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INTERIOR FINISH OTHER - PROVIDE FLUSH PLASTER FINISH.

REV	AMENDMENT DETAILS	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
PROPOSED REAR UNITS
GROUND FLOOR PLAN

DRAWN: SK
DESIGNED: FB
CHECK: FB

DATE DRAWN: MAY 2022
DRAWING SCALE: 1 : 100
SHEET SIZE: A1

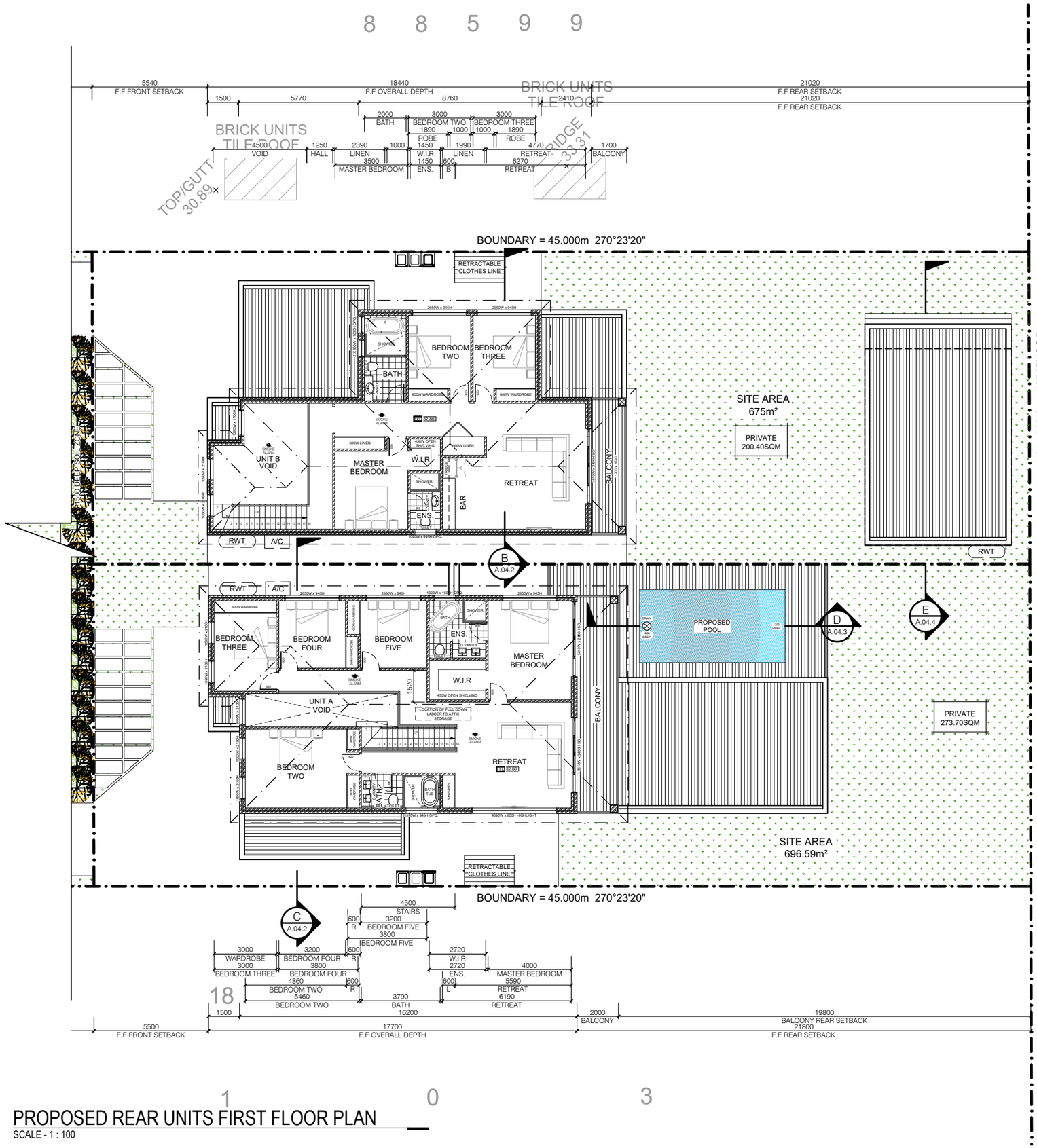
0 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m
1:100 @ A1 ■ 1:200 @ A3 ■ 1:267 @ A4

ACCREDITED BUILDING DESIGNER

ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER: FB0022
DRAWING NUMBER: A.02.3
REVISION: 01

ELEVATION DIRECTION



PROPOSED REAR UNITS FIRST FLOOR PLAN

SCALE - 1 : 100

FEMME BUILD

NEW CONSTRUCTION
REMODELS
ADDITIONS
RENOVATIONS

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WALL SCHEDULE

WALL SARKING & BULK INSULATION AS REQUIRED BY ENERGY ASSESSMENT

CAVITY BRICK WALL. SELECTED. EXPOSED FACE BRICK (RE-USE RECYCLED BRICK FROM DEMOLITION.

INTERIOR FINISH OTHER - PROVIDE FLUSH PLASTER FINISH.

REV	AMENDMENT DETAILS	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
PROPOSED REAR UNITS
FIRST FLOOR PLAN

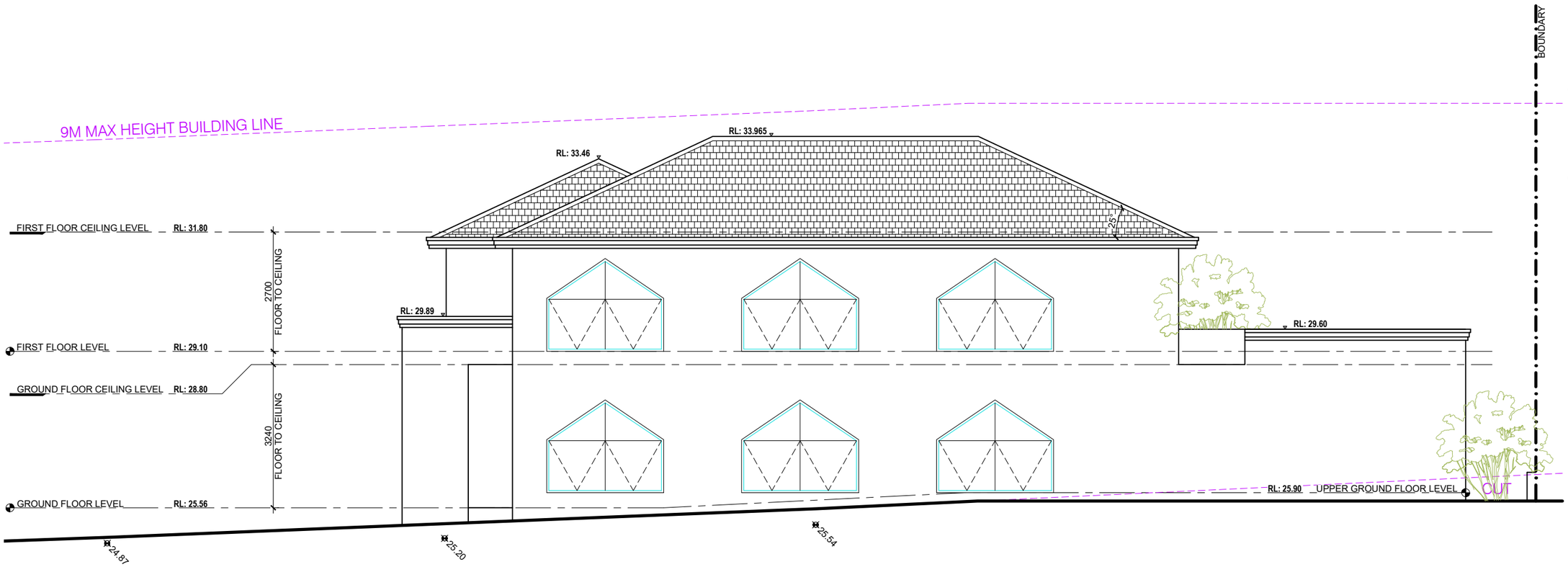
DRAWN: SK
DESIGNED: FB
CHECK: FB
DATE DRAWN: MAY 2022
DRAWING SCALE: 1 : 100
SHEET SIZE: A1

1:100 @ A1 ▪ 1:200 @ A3 ▪ 1:267 @ A4

ACCREDITED BUILDING DESIGNER

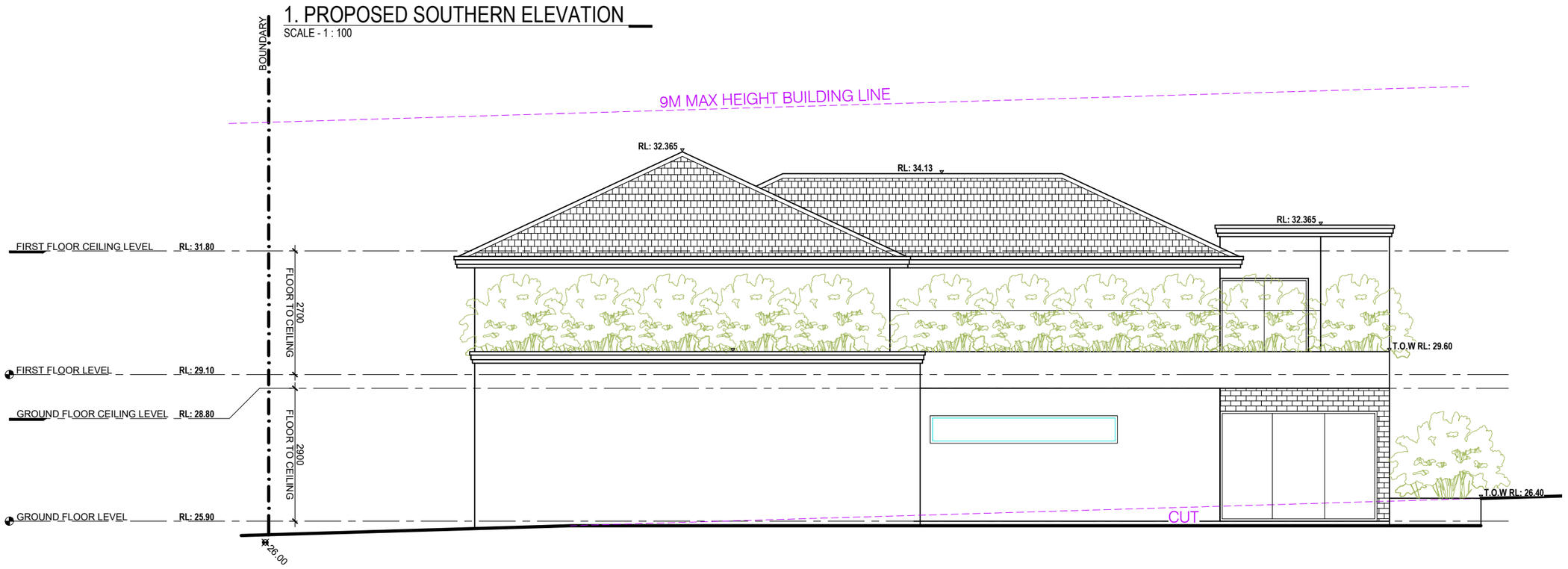
ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER: FB0022
DRAWING NUMBER: A.02.4
REVISION: 01



1. PROPOSED SOUTHERN ELEVATION

SCALE - 1 : 100



2. PROPOSED EASTERN ELEVATION

SCALE - 1 : 100

FEMME BUILD

NEW CONSTRUCTION
REMODELS
ADDITIONS
RENOVATIONS

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REV	AMENDMENT DETAILS	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
PROPOSED
ELEVATIONS 1 & 2

DRAWN
SK

DESIGNED
FB

CHECK
FB

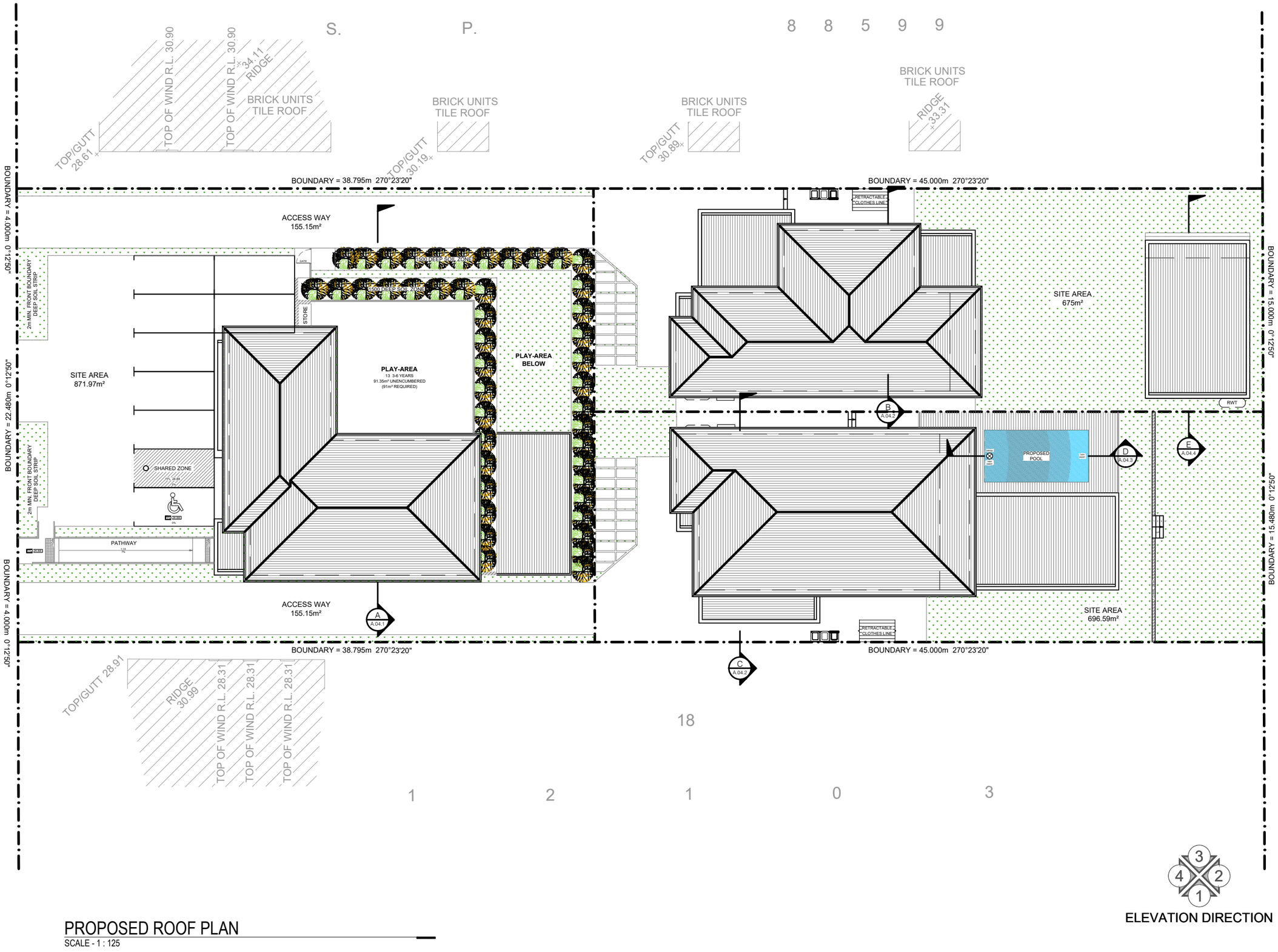
DATE DRAWN	DRAWING SCALE	SHEET SIZE
MAY 2022	1 : 100	A3

0 1m 2m 3m 4m 5m 7.5m 10m 12.5m
1:125 @ A1 ▪ 1:250 @ A3 ▪ 1:707 @ A4

bda
ACCREDITED
BUILDING DESIGNER

ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER	DRAWING NUMBER	REVISION
FB0022	A.03.1	01



PROPOSED ROOF PLAN
SCALE - 1 : 125

ELEVATION DIRECTION
3 4 2 1

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CONSTRUCTION NOTES

- CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK.
- SUPPLY AND INSTALL 'BIFLEX' CHEMICAL TERMITE TREATMENT (UNLESS OTHERWISE APPROVED) TO COMPLY WITH AS3660.1 AND MANUFACTURER'S SPECIFICATIONS
- ALL BRICKWORK (INCLUDING BRICK VENEER) SHALL BE IN ACCORDANCE WITH AS3700- MASONRY CODE
- ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS1684. - UNLESS OTHERWISE APPROVED ROOF FRAMING SHALL BE OF TRADITIONAL TIMBER FRAMED CONSTRUCTION
- FOR ALL STRUCTURAL MEMBERS, FOOTINGS, & LOAD BEARING WALLS REFER TO STRUCTURAL DOCUMENTATION PREPARED BY ENGINEERS.

REV	DESCRIPTION	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22
REV	AMENDMENT DETAILS	BY	DATE

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
PROPOSED
ROOF PLAN

DRAWN
SK

DESIGNED
FB

CHECK
FB

NORTH

DATE DRAWN
MAY 2022

DRAWING SCALE
1 : 125

SHEET SIZE
A1

0 1m 2m 3m 4m 5m 7.5m 10m 12.5m
1:125 @ A1 ■ 1:250 @ A3 ■ 1:707 @ A4

bdaa
ACCREDITED
BUILDING DESIGNER
ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER	DRAWING NUMBER	REVISION
FB0022	A.02.5	01

FEMME BUILD

NEW CONSTRUCTION
REMODELS
ADDITIONS
RENOVATIONS

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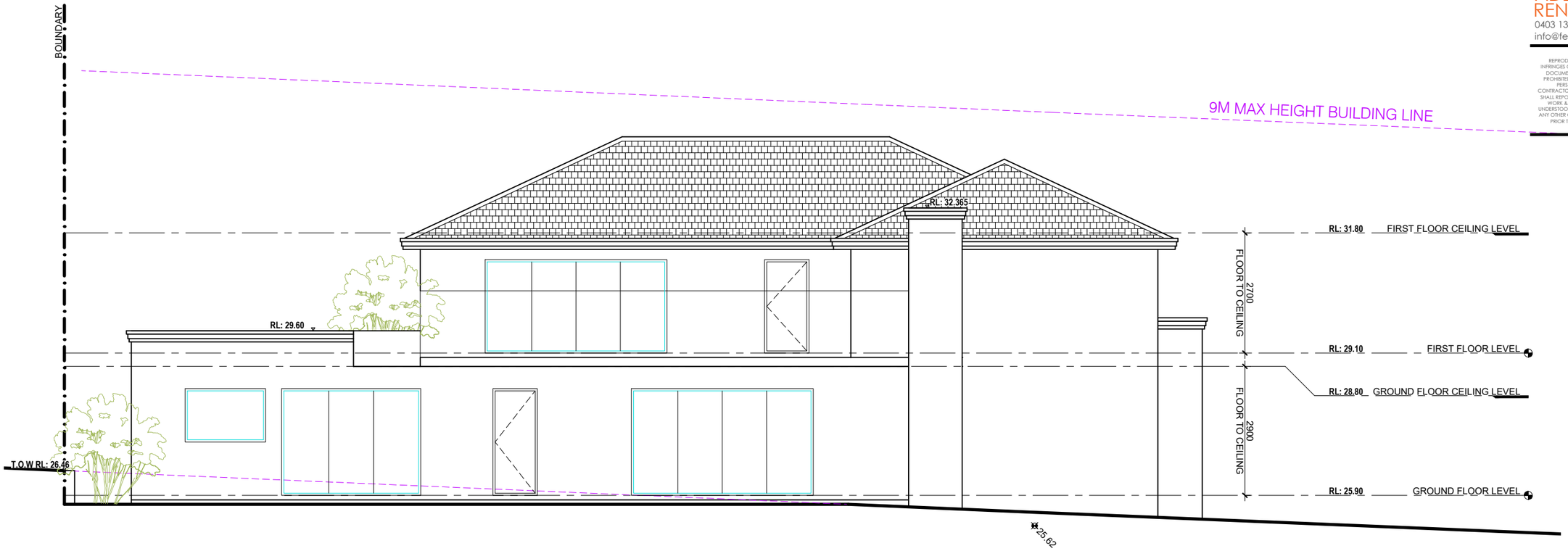

3. PROPOSED NORTHERN ELEVATION

SCALE - 1 : 100

4. PROPOSED WESTERN ELEVATION

SCALE - 1 : 100

REV	AMENDMENT DETAILS	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
PROPOSED
ELEVATIONS 1 & 2

DRAWN
SK

DESIGNED
FB

CHECK
FB

DATE DRAWN	DRAWING SCALE	SHEET SIZE
MAY 2022	1 : 100	A3

0 1m 2m 3m 4m 5m 7.5m 10m 12.5m
1:125 @ A1 1:250 @ A3 1:707 @ A4

bdaa
ACCREDITED
BUILDING DESIGNER

ACCREDITATION NUMBER: 6613 MEMBER NUMBER: 6763-21

PROJECT NUMBER	DRAWING NUMBER	REVISION
FB0022	A.03.2	01

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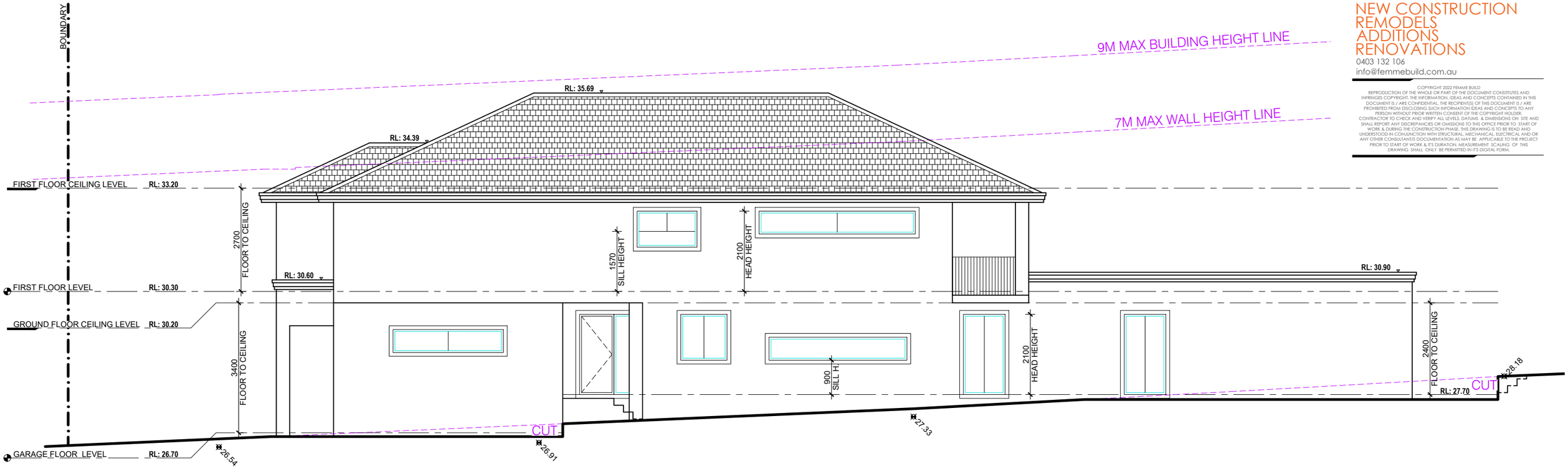
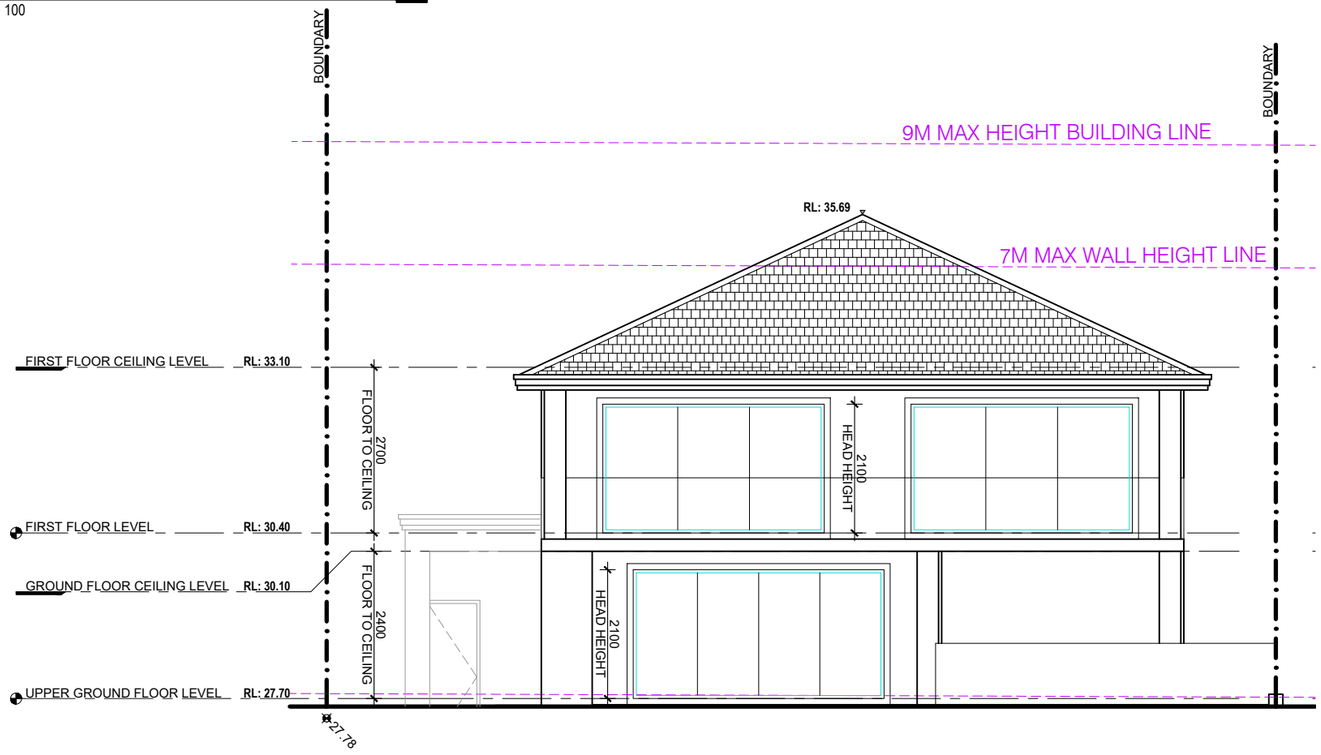


1. PROPOSED SOUTHERN ELEVATION
SCALE - 1 : 100



2. PROPOSED EASTERN ELEVATION
SCALE - 1 : 100

REV	AMENDMENT DETAILS	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
UNIT A PROPOSED
ELEVATIONS 1 & 2

DRAWN
SK

DESIGNED
FB

CHECK
FB

DATE DRAWN
MAY 2022

DRAWING SCALE
1 : 100

SHEET SIZE
A3

0 1m 2m 3m 4m 5m 7.5m 10m 12.5m
1:125 @ A1 ▪ 1:250 @ A3 ▪ 1:707 @ A4

bdaa
ACCREDITED
BUILDING DESIGNER
ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

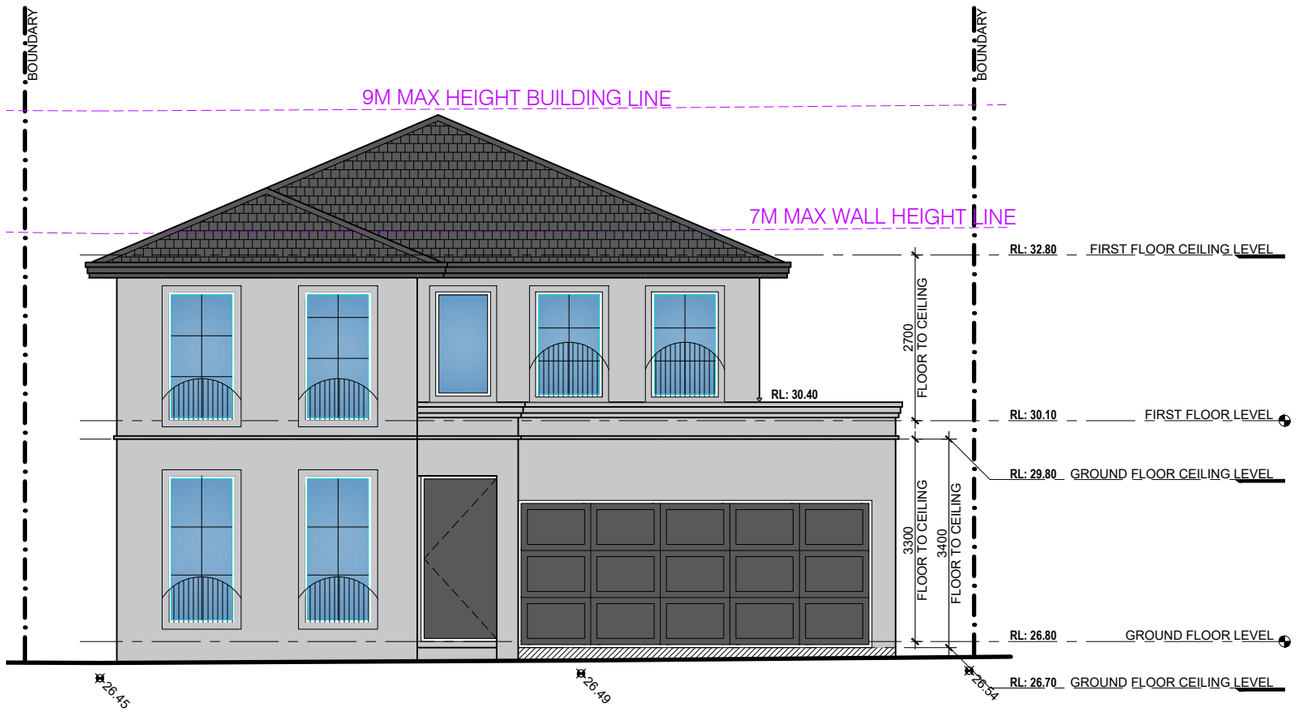
PROJECT NUMBER
FB0022

DRAWING NUMBER
A.03.3

REVISION
01

3. PROPOSED NORTHERN ELEVATION

SCALE - 1 : 100



4. PROPOSED WESTERN ELEVATION

SCALE - 1 : 100

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NEW CONSTRUCTION
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REV	AMENDMENT DETAILS	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
UNIT A PROPOSED
ELEVATIONS 3 & 4

DRAWN
SK

DESIGNED
FB

CHECK
FB

DATE DRAWN
MAY 2022

DRAWING SCALE
1 : 100

SHEET SIZE
A3

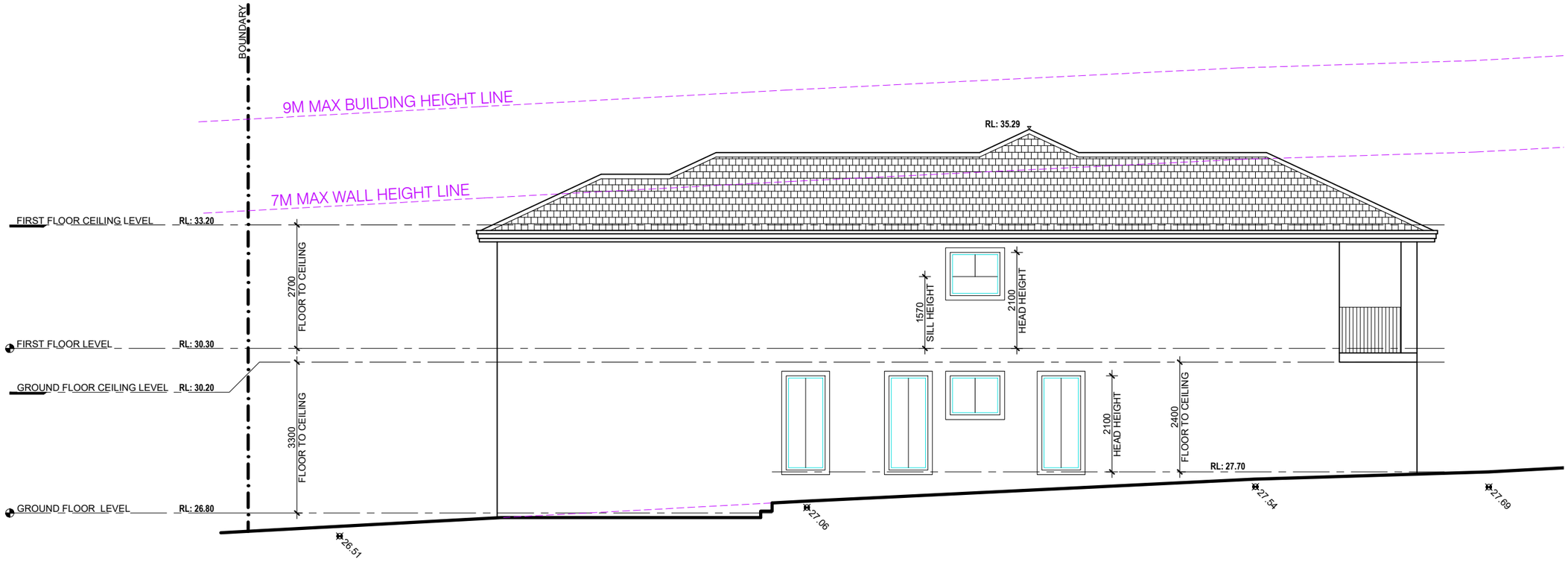
0 1m 2m 3m 4m 5m 7.5m 10m 12.5m
1:125 @ A1 ▪ 1:250 @ A3 ▪ 1:707 @ A4

bda
ACCREDITED
BUILDING DESIGNER
ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER
FB0022

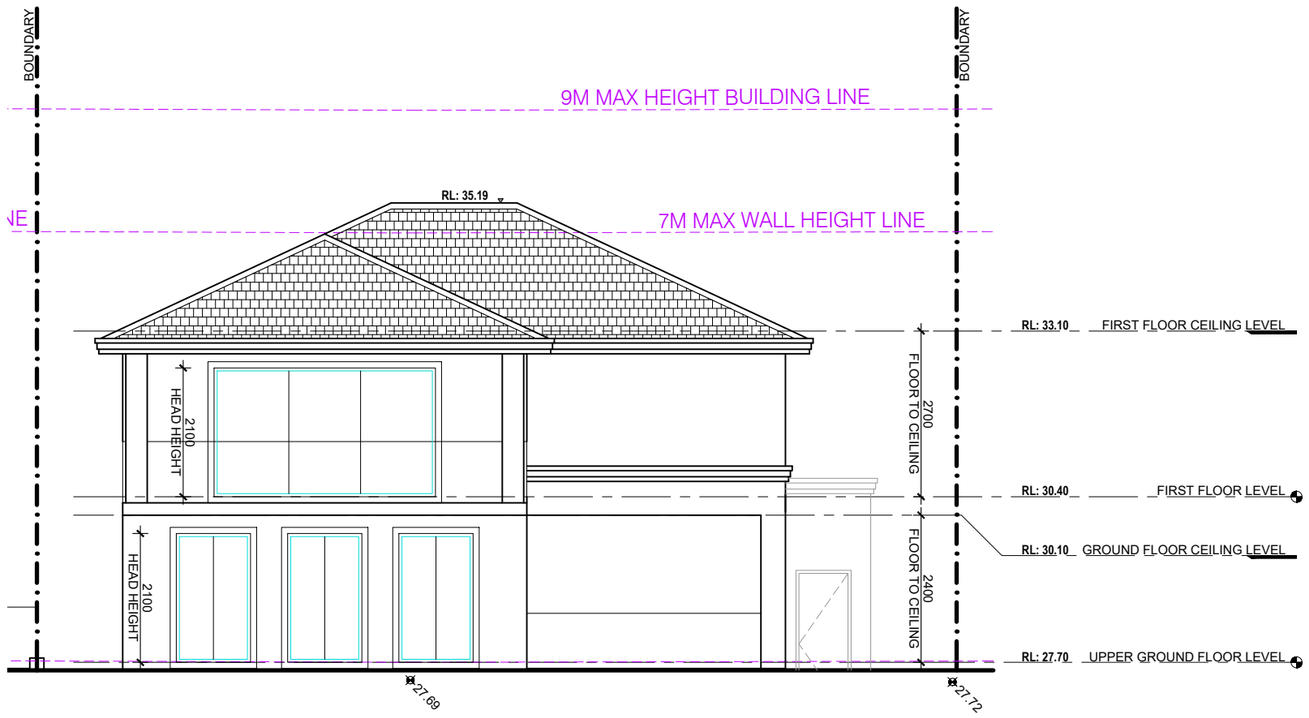
DRAWING NUMBER
A.03.4

REVISION
01



1. PROPOSED SOUTHERN ELEVATION

SCALE - 1 : 100



2. PROPOSED EASTERN ELEVATION

SCALE - 1 : 100

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REV	AMENDMENT DETAILS	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
UNIT B PROPOSED
ELEVATIONS 1 & 2

DRAWN
SK

DESIGNED
FB

CHECK
FB

DATE DRAWN
MAY 2022

DRAWING SCALE
1 : 100

SHEET SIZE
A3

0 1m 2m 3m 4m 5m 7.5m 10m 12.5m
1:125 @ A1 ▪ 1:250 @ A3 ▪ 1:707 @ A4

bda
ACCREDITED
BUILDING DESIGNER

ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER
FB0022

DRAWING NUMBER
A.03.5

REVISION
01

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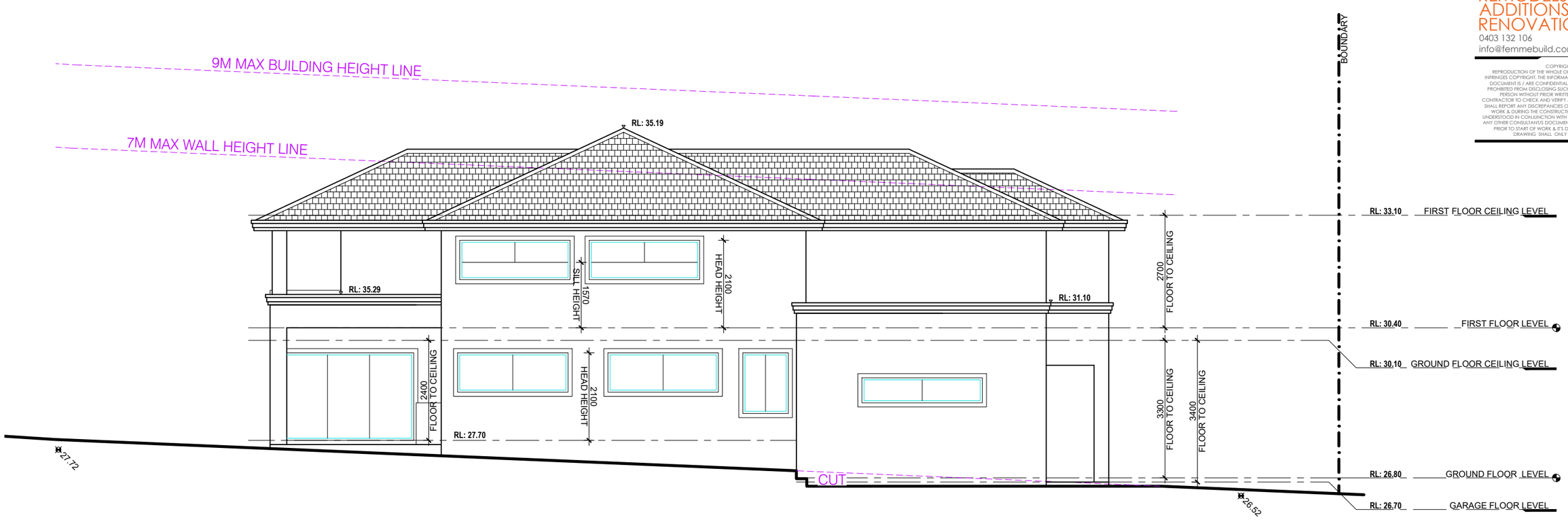
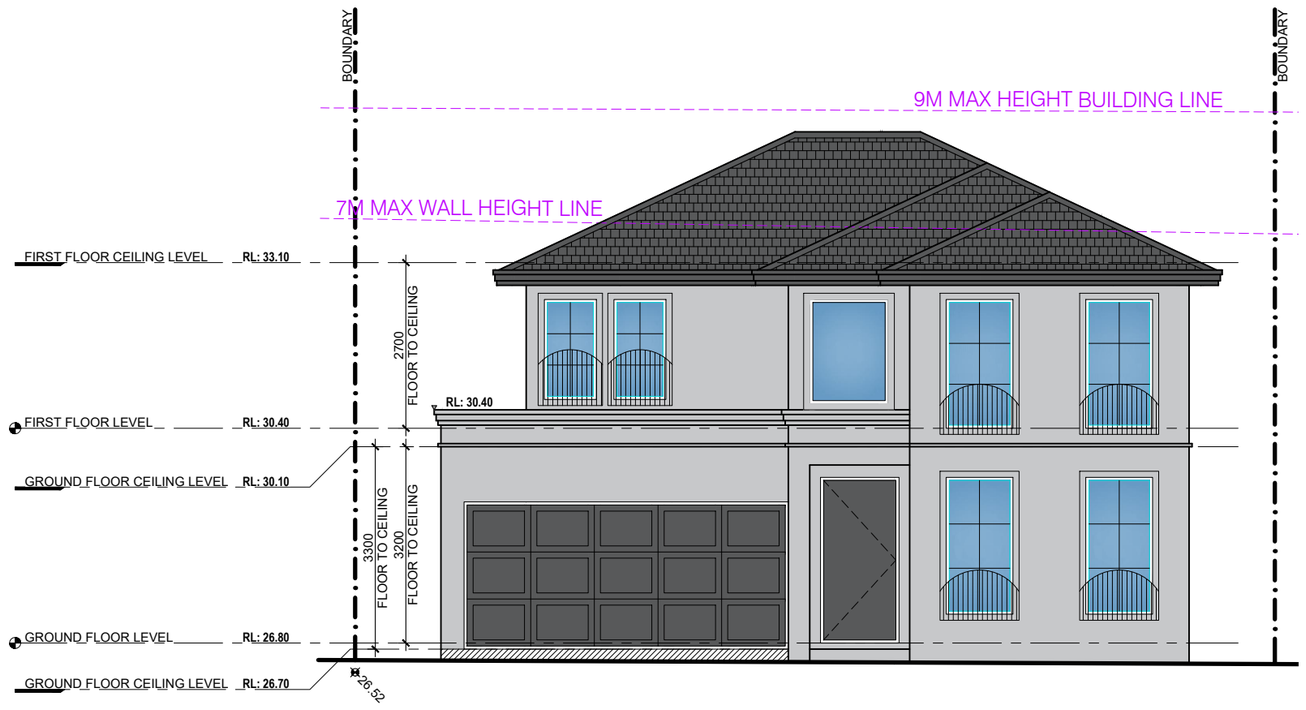


3. PROPOSED NORTHERN ELEVATION
SCALE - 1 : 100



4. PROPOSED WESTERN ELEVATION
SCALE - 1 : 100

REV	AMENDMENT DETAILS	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
UNIT B PROPOSED
ELEVATIONS 3 & 4

DRAWN
SK

DESIGNED
FB

CHECK
FB

DATE DRAWN
MAY 2022

DRAWING SCALE
1 : 100

SHEET SIZE
A3

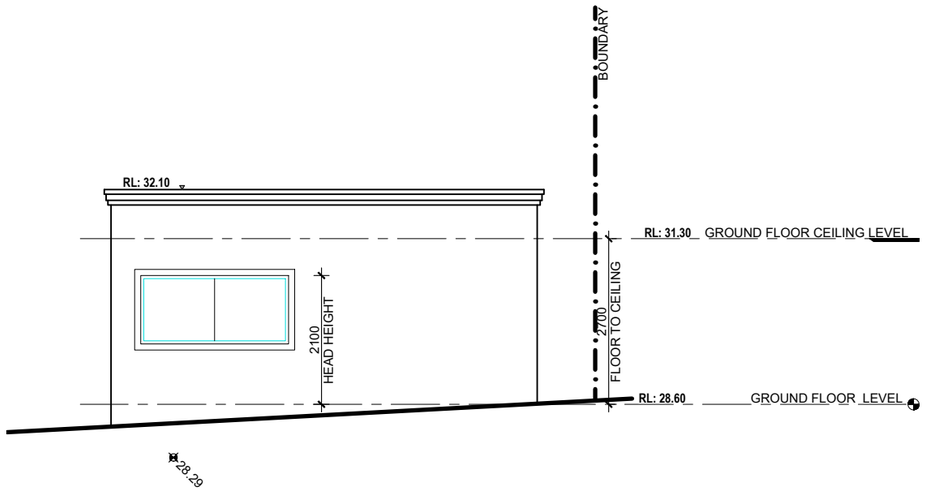
0 1m 2m 3m 4m 5m 7.5m 10m 12.5m
1:125 @ A1 ■ 1:250 @ A3 ■ 1:707 @ A4

bda
ACCREDITED
BUILDING DESIGNER
ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER
FB0022

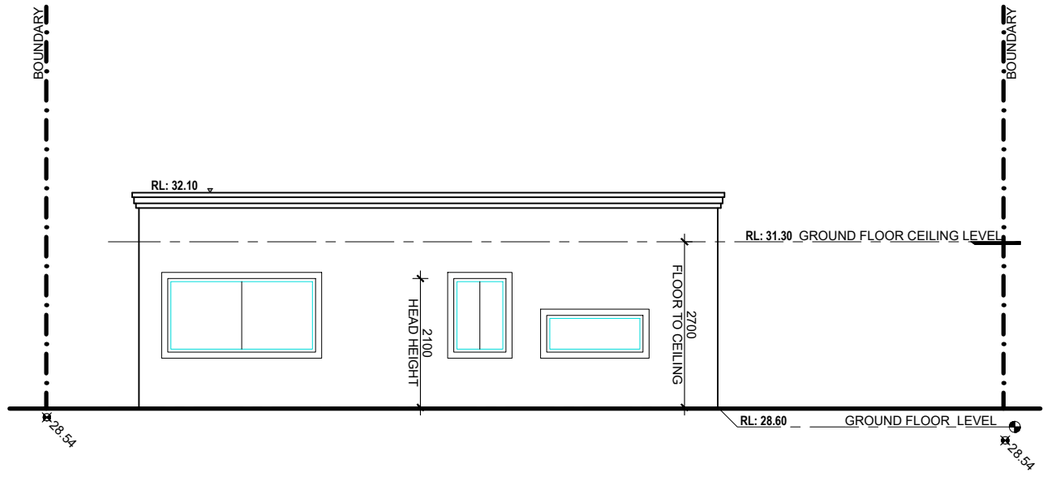
DRAWING NUMBER
A.03.6

REVISION
01



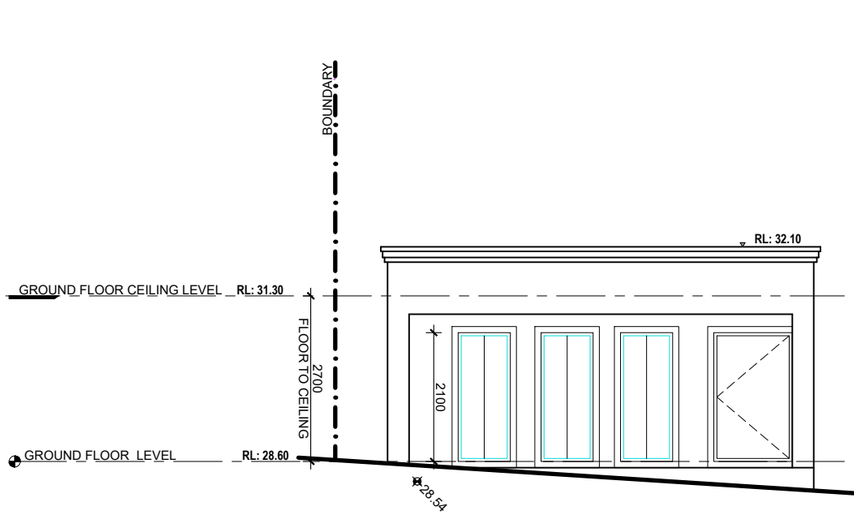
1. PROPOSED SOUTHERN ELEVATION

SCALE - 1 : 100



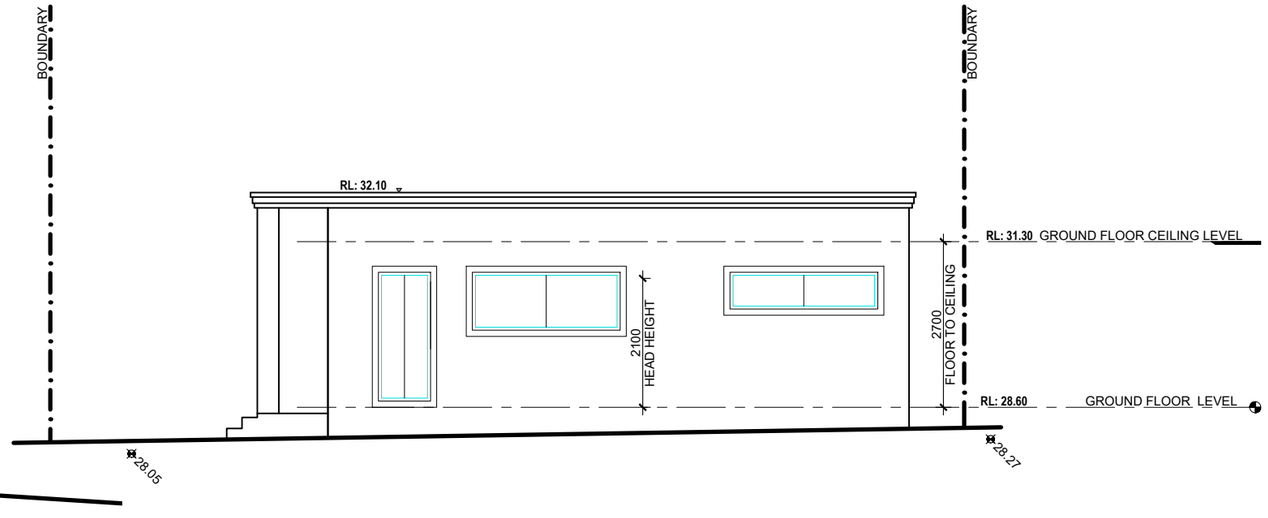
2. PROPOSED EASTERN ELEVATION

SCALE - 1 : 100



3. PROPOSED NORTHERN ELEVATION

SCALE - 1 : 100



4. PROPOSED WESTERN ELEVATION

SCALE - 1 : 100

FEMME BUILD

NEW CONSTRUCTION
REMODELS
ADDITIONS
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REV	AMENDMENT DETAILS	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
UNIT B S'DARY DWELLING
PROPOSED ELEVATIONS 1-4

DRAWN
SK

DESIGNED
FB

CHECK
FB

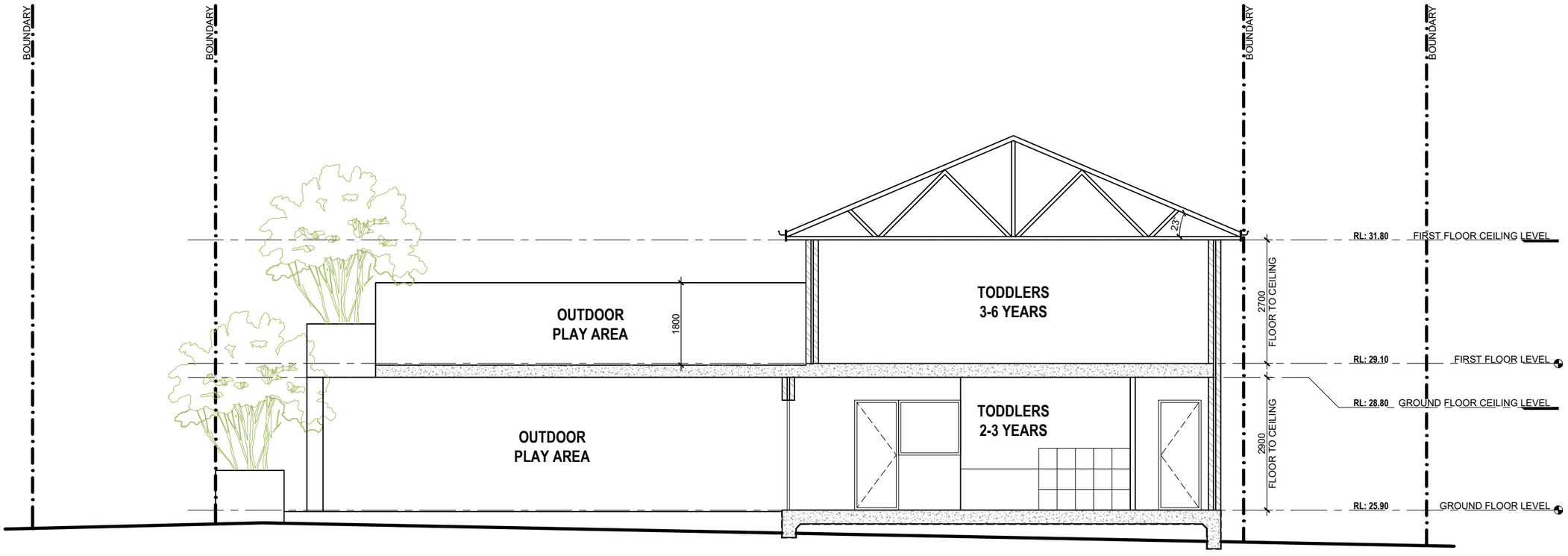
DATE DRAWN	DRAWING SCALE	SHEET SIZE
MAY 2022	1 : 100	A3

0 0.5m 1m 2m 3m 4m 5m
1:50 @ A1 ▪ 1:100 @ A3 ▪ 1:141 @ A4

bda
ACCREDITED
BUILDING DESIGNER

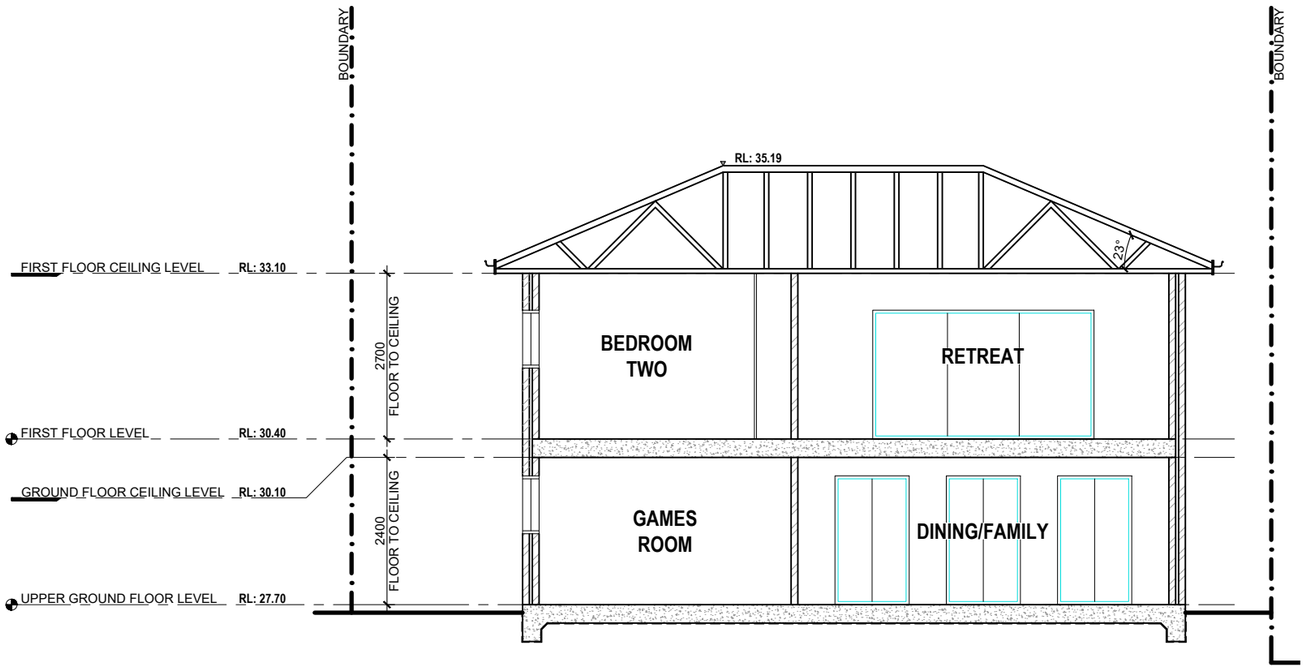
ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER	DRAWING NUMBER	REVISION
FB0022	A.03.7	01



1. PROPOSED SECTION A

SCALE - 1 : 100



2. PROPOSED SECTION B

SCALE - 1 : 100

FEMME BUILD

NEW CONSTRUCTION
REMODELS
ADDITIONS
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REV	AMENDMENT DETAILS	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
PROPOSED
SECTION & DETAILS

DRAWN
SK

DESIGNED
FB

CHECK
FB

DATE DRAWN
MAY 2022

DRAWING SCALE
AS SHOWN

SHEET SIZE
A3

0 0.5m 1m 2m 3m 4m 5m
1:50 @ A1 ▪ 1:100 @ A3 ▪ 1:141 @ A4

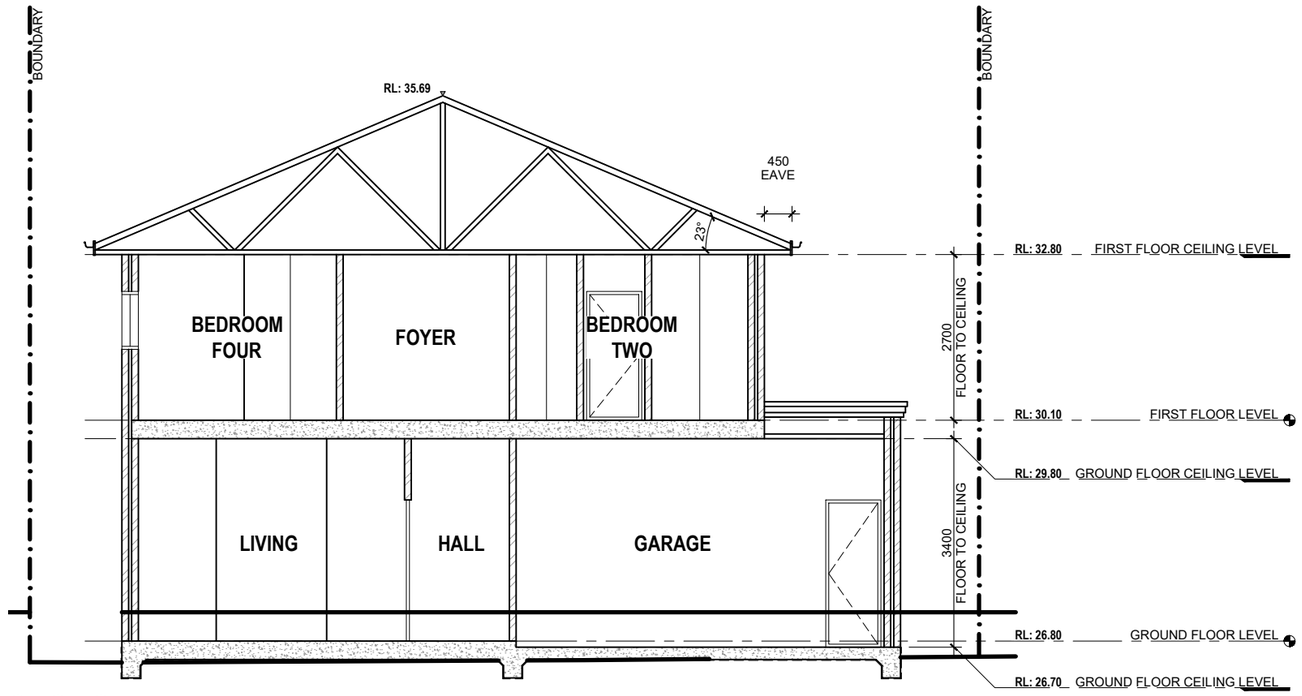
bda
ACCREDITED
BUILDING DESIGNER

ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER
FB0022

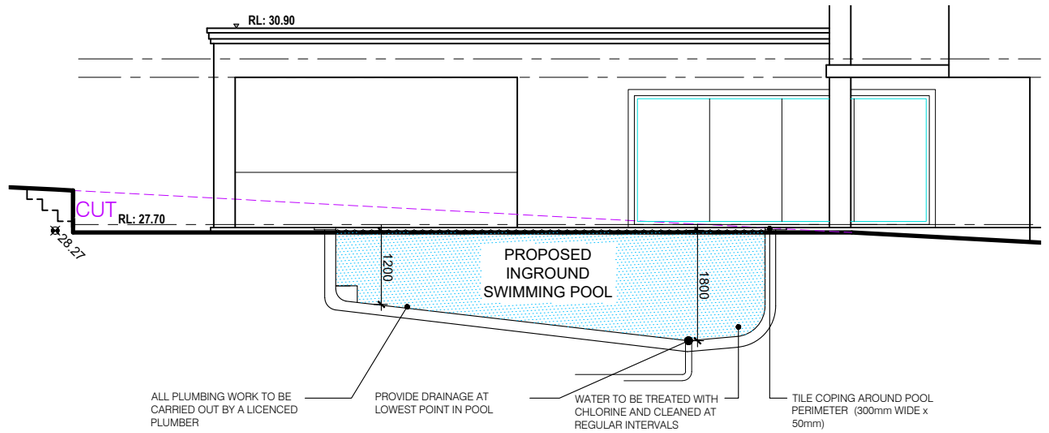
DRAWING NUMBER
A.04.1

REVISION
01



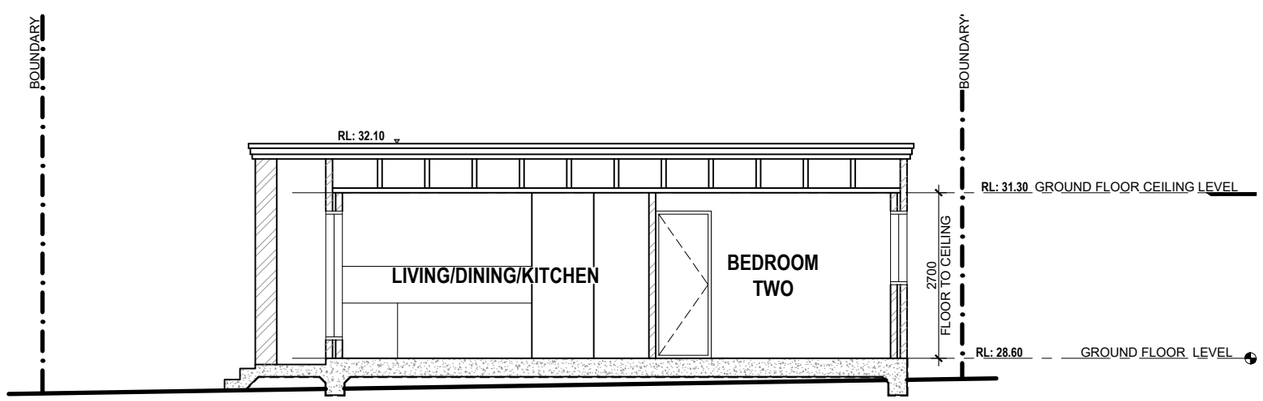
PROPOSED SECTION C

SCALE - 1 : 100



PROPOSED SECTION D

SCALE - 1 : 100



PROPOSED SECTION E

SCALE - 1 : 100

FEMME BUILD

NEW CONSTRUCTION
REMODELS
ADDITIONS
RENOVATIONS

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REV	DESCRIPTION	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22
REV	AMENDMENT DETAILS	BY	DATE

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
PROPOSED
SECTION & DETAILS

DRAWN
SK

DESIGNED
FB

CHECK
FB

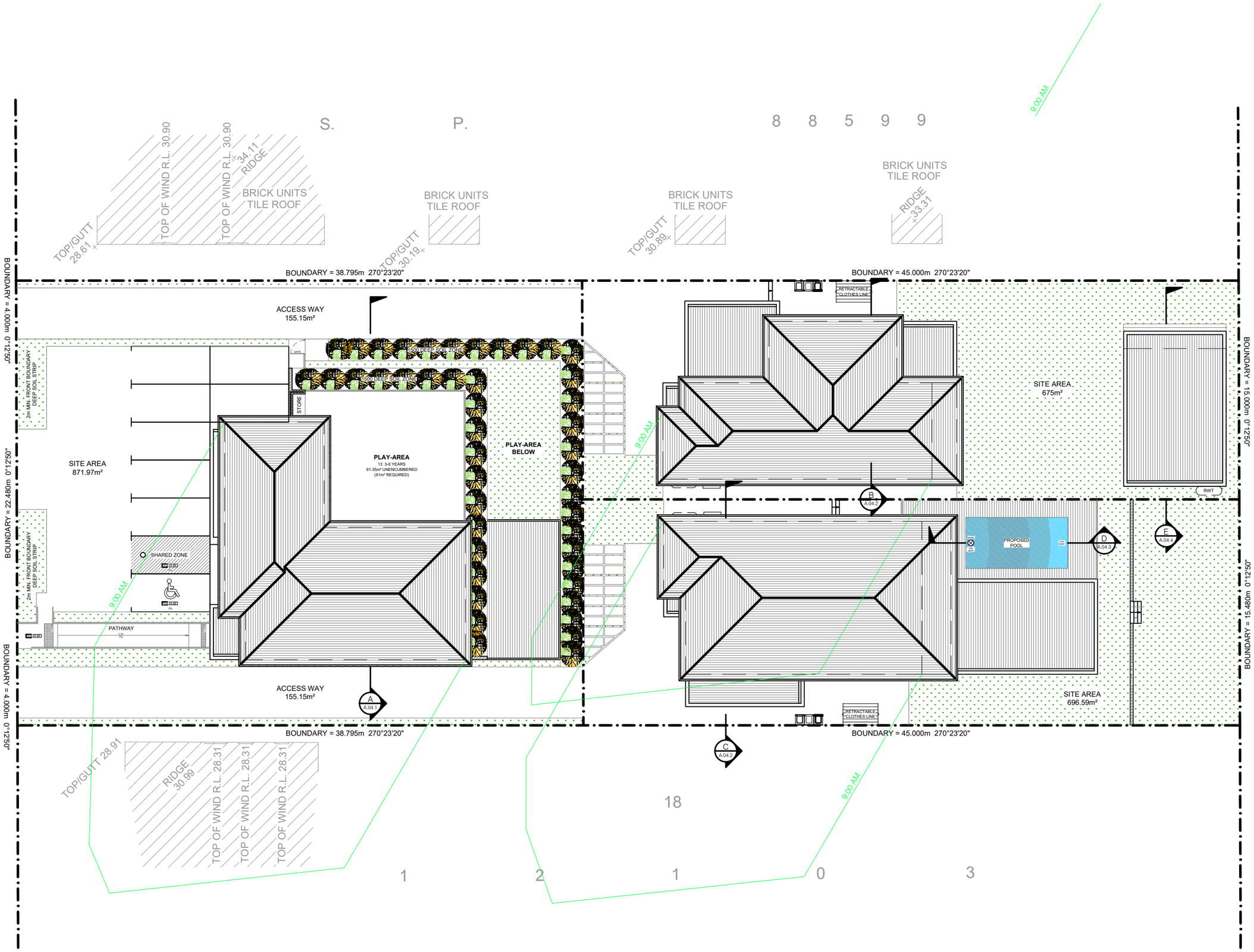
DATE DRAWN	DRAWING SCALE	SHEET SIZE
MAY 2022	AS SHOWN	A3

0 0.5m 1m 2m 3m 4m 5m
1:50 @ A1 ▪ 1:100 @ A3 ▪ 1:141 @ A4

bdaa
ACCREDITED
BUILDING DESIGNER

ACCREDITATION NUMBER: 6613 MEMBER NUMBER: 6763-21

PROJECT NUMBER	DRAWING NUMBER	REVISION
FB0022	A.04.2	01



PROPOSED SHADOW DIAGRAM JUNE 21st 9AM

SCALE - 1 : 250

FEMME BUILD

NEW CONSTRUCTION
REMODELS
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REV	DESCRIPTION	BY	DATE
01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
PROPOSED SHADOW DIAGRAMS - JUNE 21

DRAWN
SK

DESIGNED
FB

CHECK
FB

NORTH

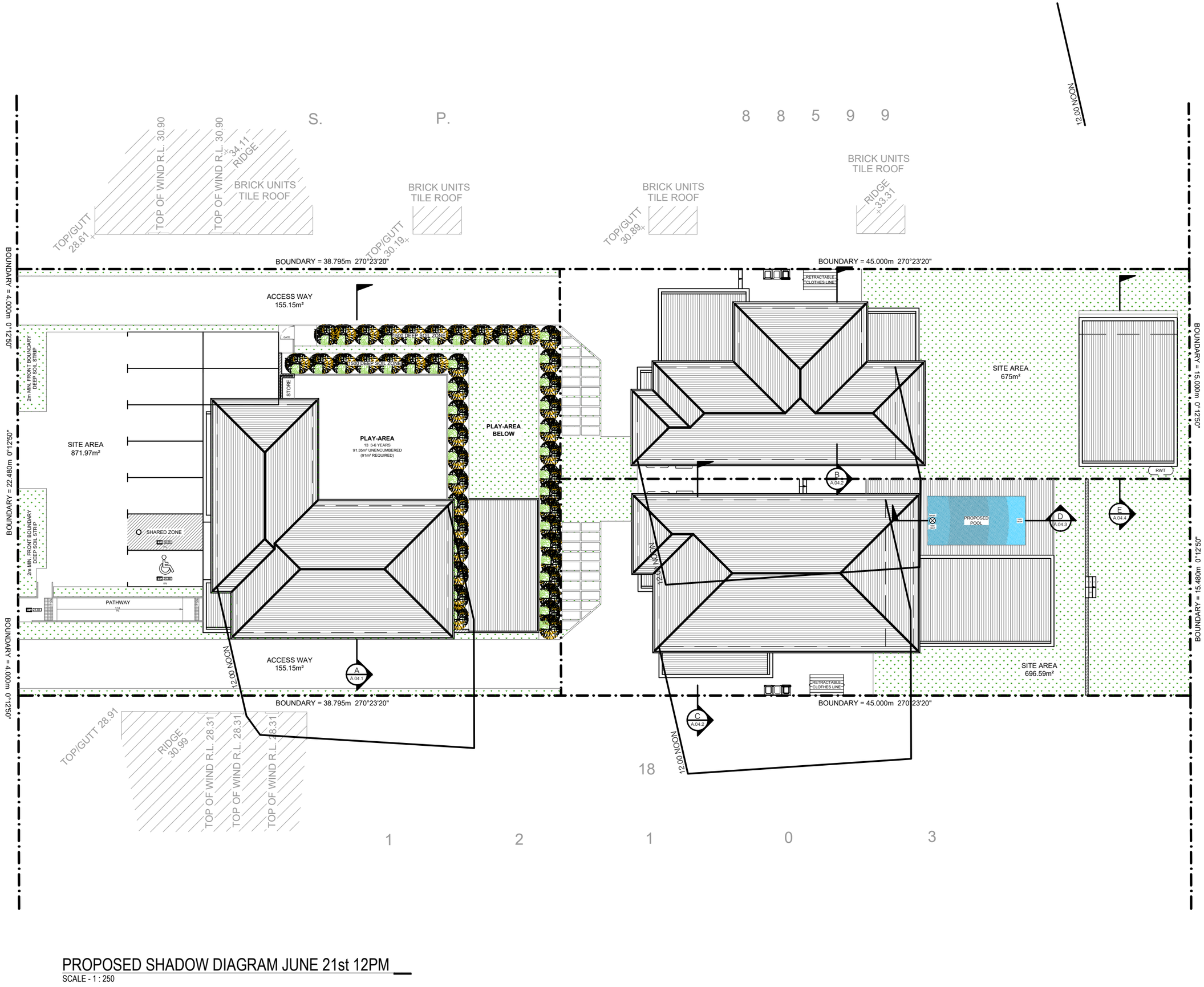
DATE DRAWN	DRAWING SCALE	SHEET SIZE
MAY 2022	1 :250	A3

0 1m 2m 3m 4m 5m 7.5m 10m 12.5m
1:125 @ A1 ▪ 1:250 @ A3 ▪ 1:707 @ A4

bdaa
ACCREDITED
BUILDING DESIGNER

ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER	DRAWING NUMBER	REVISION
FB0022	A.06.1	01



PROPOSED SHADOW DIAGRAM JUNE 21st 12PM

SCALE - 1 : 250

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01	DEVELOPMENT APPLICATION	SK	12.05.22
REV	AMENDMENT DETAILS	BY	DATE

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
PROPOSED SHADOW DIAGRAMS - JUNE 21

DRAWN
SK

DESIGNED
FB

CHECK
FB

NORTH

DATE DRAWN
MAY 2022

DRAWING SCALE
1 :250

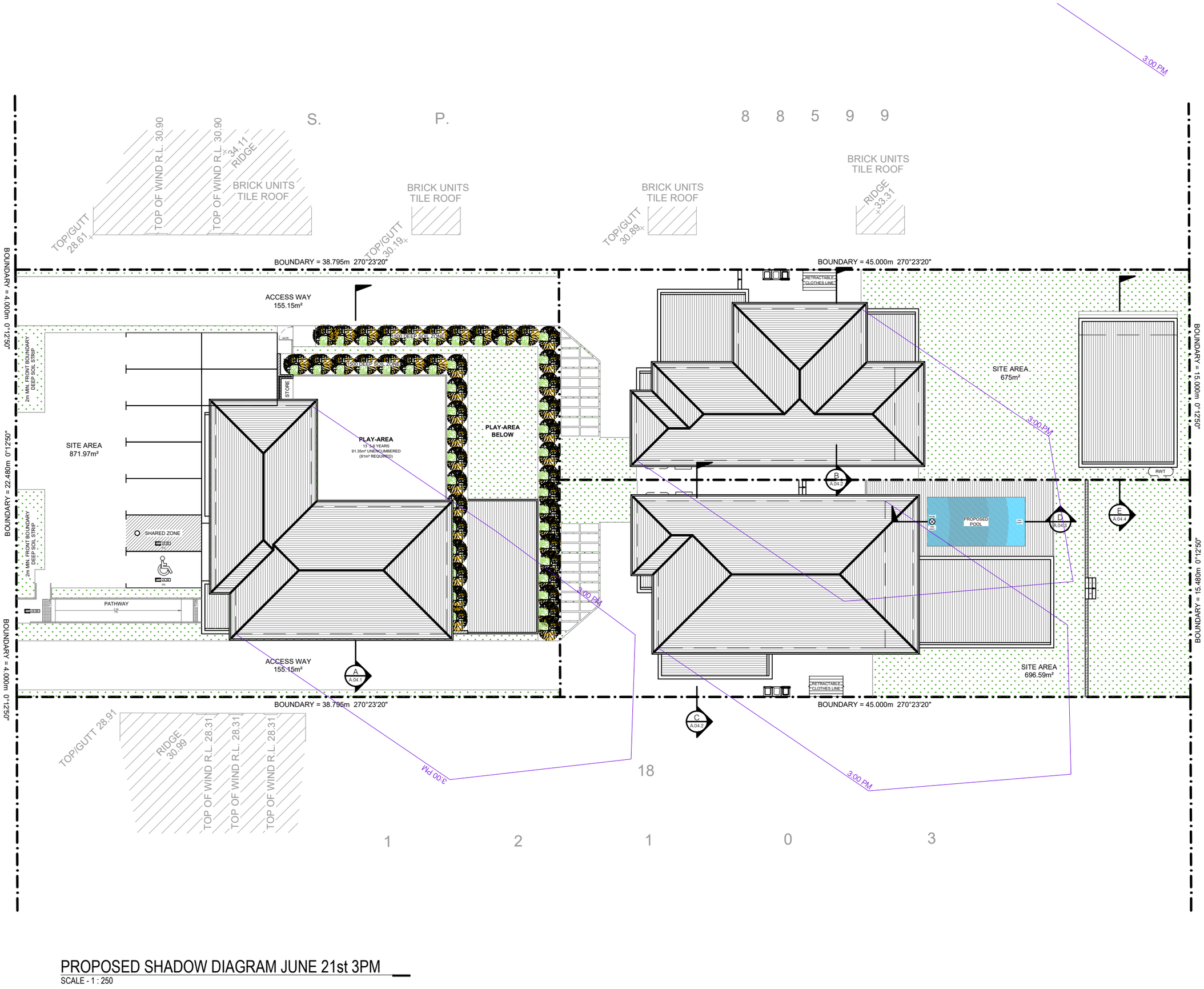
SHEET SIZE
A3

0 1m 2m 3m 4m 5m 7.5m 10m 12.5m
1:125 @ A1 ▪ 1:250 @ A3 ▪ 1:707 @ A4

bdaa
ACCREDITED
BUILDING DESIGNER

ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER	DRAWING NUMBER	REVISION
FB0022	A.06.2	01



PROPOSED SHADOW DIAGRAM JUNE 21st 3PM

SCALE - 1 : 250

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01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
PROPOSED SHADOW DIAGRAMS - JUNE 21

DRAWN
SK

DESIGNED
FB

CHECK
FB

NORTH

DATE DRAWN	DRAWING SCALE	SHEET SIZE
MAY 2022	1 :250	A3

0 1m 2m 3m 4m 5m 7.5m 10m 12.5m
1:125 @ A1 ■ 1:250 @ A3 ■ 1:707 @ A4

bda
ACCREDITED
BUILDING DESIGNER
ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER	DRAWING NUMBER	REVISION
FB0022	A.06.3	01

SUMMARY OF BASIX COMMITMENTS

This is a summary of the BASIX Commitments as detailed in the BASIX Certificate.
Builders and Owners must refer to the CURRENT BASIX Certificate for Complete details.
For definitions refer to basix.nsw.gov.au

WATER COMMITMENTS

FIXTURES

ALL SHOWER HEADS	ALL TOILETS	ALL KITCHEN TAPS	ALL BATHROOM TAPS
3STAR(>7.5 but <=9L/min)	3 STAR	3 STAR	3 STAR
3STAR(>7.5 but <=9L/min)	3 STAR	3 STAR	3 STAR
4STAR(>4.5 but <=6L/min)	5 STAR	5 STAR	5 STAR

ALTERNATIVE WATER SOURCE

DWELLING No.	RAINWATER TANK SIZE	CONFIGURATION	
A	2000 LITRES Min.	ROOF AREA - 200m^2	-
B	2000 LITRES Min.	ROOF AREA - 200m^2	-
C	2500 LITRES Min.	ROOF AREA - 70m^2	-
DWELLING No.	L/SCAPE CONNECTION	TOILET CONNECTION	L/DRY CONNECTION
A	YES	YES	-
B	YES	YES	-
C	YES	YES	-

THERMAL COMMITMENTS

FLOOR, WALLS & CEILING/ROOF

CONSTRUCTION	ADDITIONAL INSULATION(R-VALUE)	OTHER
FLOOR-CONCRETE SLAB ON GROUND	NIL	
EXTERNAL WALL - CAVITY BRICK	0.50(OR 1.17 INCLUDING CONSTRUCTION)	
INTERNAL WALL SHARED WITH GARAGE-SINGLE SKIN MASONRY	NIL	
CEILING & ROOF - FLAT CEILING/PITCHED ROOF	CEILING: 4.5(UP), ROOF:FOIL/SARKING	GABLE END VENTS;DARK(SOLAR ABSORPTANCE >0.70)
CEILING & ROOF - FLAT CEILING/FLAT ROOF, FRAMED	CEILING: 4.5(UP), ROOF:FOIL/SARKING	FRAMED;DARK(SOLAR ABSORPTANCE >0.70)

ENERGY COMMITMENTS

	HOT WATER	BATH./KITCH./L'DRY VENTILATION SYSTEM	
DWELLING No.	HOT WATER SYSTEM	EACH ROOM	OPERATION CONTROL
A	GAS INSTANTANEOUS 3 STARS	INDIVIDUAL FAN, DUCTED TO ROOF.	MANUAL SWITCH ON/OFF
B	GAS INSTANTANEOUS 3 STARS	INDIVIDUAL FAN, DUCTED TO ROOF.	MANUAL SWITCH ON/OFF
C	GAS INSTANTANEOUS 3 STARS	INDIVIDUAL FAN, DUCTED TO ROOF.	MANUAL SWITCH ON/OFF

	COOLING		HEATING	
DWELLING No.	LIVING AREAS	BEDROOM AREAS	LIVING AREAS	BEDROOM AREAS
A	1 PHASE AIRCONDITIONING EER<2.5	1 PHASE AIRCONDITIONING EER<2.5	1 PHASE AIRCONDITIONING EER<2.5	1 PHASE AIRCONDITIONING EER<2.5
B	1 PHASE AIRCONDITIONING EER<2.5	1 PHASE AIRCONDITIONING EER<2.5	1 PHASE AIRCONDITIONING EER<2.5	1 PHASE AIRCONDITIONING EER<2.5
C	1 PHASE AIRCONDITIONING EER<2.5	1 PHASE AIRCONDITIONING EER<2.5	1 PHASE AIRCONDITIONING EER<2.5	1 PHASE AIRCONDITIONING EER<2.5

ARTIFICIAL LIGHTING

DWELLING No.	BEDROOMS	LIVING/DIN.	KITCHENS	BATH/WC	LAUNDRY	HALLWAYS
A	5	2	YES	YES	YES	YES
B	6	4	YES	YES	YES	YES
C	2	2	YES	YES	YES	YES

NATURAL LIGHTING

DWELLING No.	BATH/WC	KITCHENS	BEDROOMS	-	-	-
A	3	1	5	-	-	-
B	4	1	6	-	-	-
C	1	1	2	-	-	-

ALTERNATIVE ENERGY

DWELLING No.	TYPE
A	
B	
C	

APPLIANCES & OTHER EFFICIENCY MEASURES

DWELLING No.	COOKTOP/OVEN	WELL VENT. FRIDGE SPACE	DRYING LINE
A	GAS COOKTOP ELECTRIC OVEN	YES	YES - FIXED OUTDOOR
B	GAS COOKTOP ELECTRIC OVEN	YES	YES - FIXED OUTDOOR
C	GAS COOKTOP ELECTRIC OVEN	YES	YES - FIXED OUTDOOR

INDIVIDUAL POOL (SOLAR HEATED)

VOLUME (MAX)	POOL COVER	POOL LOCATION	POOL SHADED
36.75 KILOLITRES	NO	OUTDOORS	NO

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01	DEVELOPMENT APPLICATION	SK	12.05.22

PROJECT STAGE
DEVELOPMENT APP.

PROJECT DETAILS
NEW DEVELOPMENT
21-23 ELLIS STREET,
CONDELL PARK NSW 2200

CLIENT DETAILS
MR NAFTI

DRAWING TITLE
PROPOSED BASIX
& DETAILS

DRAWN
SK

DESIGNED
FB

CHECK
FB

DATE DRAWN
MAY 2022

DRAWING SCALE
N.T.S

SHEET SIZE
A3

0 1m 2m 3m 4m 5m 7.5m 10m 12.5m
1:125 @ A1 ▪ 1:250 @ A3 ▪ 1:707 @ A4

bda
ACCREDITED
BUILDING DESIGNER
ACCREDITATION NUMBER: 6613
MEMBER NUMBER: 6763-21

PROJECT NUMBER
FB0022

DRAWING NUMBER
A.07.1

REVISION
01